



AGENDA
CITY COUNCIL MEETING
Chesterfield City Hall
690 Chesterfield Parkway West
Monday, July 15, 2024
7:00 PM

- I. CALL TO ORDER** – Mayor Bob Nation

- II. PLEDGE OF ALLEGIANCE** – Mayor Bob Nation

- III. MOMENT OF SILENT PRAYER** – Mayor Bob Nation

- IV. ROLL CALL** – City Clerk Vickie McGownd

- V. APPROVAL OF MINUTES** – Mayor Bob Nation
 - A. Executive Session Minutes** – June 17, 2024
 - B. City Council Meeting Minutes** – June 17, 2024

- VI. INTRODUCTORY REMARKS** – Mayor Bob Nation
 - A. Thursday, July 18, 2024 – Planning & Public Works (5:30pm)**
 - B. Tuesday, July 23, 2024 – Finance 105 (6:00pm)**
 - C. Monday, August 5, 2024 – City Council (7:00pm)**

- VII. COMMUNICATIONS AND PETITIONS** – Mayor Bob Nation
 - A. Proclamation** – Cicardi A. Bruce Jr.

- VIII. APPOINTMENTS** – Mayor Bob Nation

IX. COUNCIL COMMITTEE REPORTS

A. Planning and Public Works Committee – Chairperson Dan Hurt, Ward III

1. Proposed Bill No. 3510 – 04-2024 The Smokehouse:

An ordinance repealing City of Chesterfield ordinance 2125 to amend the legal description and the development criteria for an existing “C8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road. (17T240201, 17T240199). **(First Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval.**

2. FSP 60-2024 VERIZON (13703 Olive Blvd):

A request for a new Facilities Siting Permit to install a new cell pole and accompanying infrastructure and a new power pole with transformer located in the City of Chesterfield right-of-way at the Dierbergs Meditation Park at the northwest intersection of Olive Boulevard and River Valley Drive (Ward 1). **Planning & Public Works Committee recommends approval. (Voice Vote)**

3. Next Meeting – July 18, 2024

B. Finance and Administration Committee – Chairperson Barb McGuinness, Ward I

1. Insurance Damage Settlement:

The Finance and Administration Committee unanimously endorsed depositing the \$831,807 in net positive insurance revenue, and reserved to satisfy future insurance deductibles, repairs and or replacements where it is undesirable to file a claim. Managing the unspent insurance proceeds in this manner will fund insurance deductibles for a number of years, provide for reduced claim submissions, and result in more accurate and reduced annual budgets. **(Roll Call vote)**

2. Repeal City Council Policy PDS No.1 – Chesterfield Historic and Landmark Preservation Committee:

The Finance and Administration Committee unanimously recommends the repeal of Planning Policy #1, which would effectively dissolve the CHLPC as a Citizen’s Advisory Committee. The Committee also unanimously endorsed passage of a proposed ordinance to transfer the regulatory responsibilities to the ARB. This proposed ordinance has been forwarded to the Planning Commission for action, as required by Missouri Statutes, and their recommendation will subsequently be forwarded to the PPW Committee and then City Council for action at a future meeting. **(Voice Vote)**

3. Next Meeting – not yet scheduled

C. Parks, Recreation and Arts Committee – Chairperson Gary Budoor, Ward IV

1. Proposed Resolution No. 499 - Municipal Parks Grant RD-25

Central Park Playground: the Parks, Recreation and Arts Committee unanimously recommended submission of a Municipal Parks Grant application for the Central Park Playground, and approval of the proposed, required resolution of support. **(Voice vote)**

2. Aquatic Facility Replacement Strategy: The Parks, Recreation and Arts Committee unanimously endorsed the aquatic Facility Replacement Strategy dated June 21st, 2024, prepared by City Administrator Geisel. Task one of the seven tasks outlined in the strategy has been completed and task two involves soliciting and funding a design consultant for the entire project, but whose first tasks would be to conduct additional public engagement and develop the preliminary design and cost estimates which would be used to develop funding strategies. **(Voice vote)**

3. Central Park Forest Management: The Parks, Recreation and Arts Committee unanimously endorsed a \$100,000 budgetary transfer from the Parks Fund – Fund Reserve in the full amount of a four-year Forest Management program, and to authorize a multi-year contract with Native Landscape Solutions, both of which are contingent on receiving the 2024-2025 Missouri Department of Conservation grant which would reimburse half of the City's year one expenditures. **(Roll call vote)**

4. Next Meeting – not yet scheduled

D. Public Health and Safety Committee – Chairperson Aaron Wahl, Ward II

1. Proposed Resolution No. 500 – Flock Camera Installation: The Public Health and Safety Committee recommends approval of the proposed resolution which authorizes the execution of an agreement with St. Louis County for installation of a Flock camera within St. Louis County Right of Way. **(Roll Call Vote)**

2. Proposed Bill No. 3511 – Regulation of Hemp Based Products: The Public Health and Safety Committee unanimously endorsed a proposed ordinance to restrict the sale of Hemp Derived Intoxicants. **(First & Second Reading)**

3. Proposed Bill No. 3512 – Regulation of KRATOM products: The Public Health and Safety Committee unanimously endorsed passage of a proposed ordinance to restrict the sale of Kratom products to anyone

under the age of 21 unless prescribed by a licensed healthcare provider. **(First & Second Reading Reading)**

4. Parkway School District SRO Contract: The Public Health and Safety Committee unanimously endorsed the renewal of the agreement for providing School Resource Officers. **(Roll Call Vote)**

5. Next Meeting – not yet scheduled

X. REPORT FROM THE CITY ADMINISTRATOR – Mike Geisel

A. Municipal League of Metro St. Louis Annual Dues: As previously instructed, the City Administrator has forwarded the invoice from the Municipal League of Metro St. Louis County, in the amount of \$7,122 for approval. This membership is included in the 2024 approved budget. **(Roll Call vote)**

B. Wilson Avenue Right of Way Parcel Ten
Recommendation to authorize the City Administrator to issue payment in the amount of \$49,984 and execute all necessary right of way and easement documents associated with Parcel Ten of the Wilson Avenue Project. **(Roll Call Vote) Department of Public Works recommends approval.**

XI. OTHER LEGISLATION

A. Proposed Bill No. 3513 – Estates at Conway: An ordinance providing for the approval of a Record Plat and escrow agreements for a 2.14-acre tract of land being part of lot 5 of Highland on Conway, Plat 1 for a subdivision zoned “R3” Residential District located approximately 0.7 miles southeast from the intersection of Conway Road and Chesterfield Parkway East and north of Interstate 64 (Ward 2). **(First & Second Reading) Planning Commission recommends approval.**

XII. UNFINISHED BUSINESS

XIII. NEW BUSINESS

XIV. ADJOURNMENT

***NOTE:** City Council will consider and act upon the matters listed above and such other matters as may be presented at the meeting and determined to be appropriate for discussion at that time.*

***Notice** is hereby given that the City Council may also hold a closed meeting for the purpose of dealing with matters relating to one or more of the following: legal actions, causes of action, litigation or privileged communications between the City’s representatives*

and its attorneys (RSMo 610.021(1) 1994; lease, purchase or sale of real estate (RSMo 610.021(2) 1994; hiring, firing, disciplining or promoting employees with employee groups (RSMo 610.021(3)1994; Preparation, including any discussions or work product, on behalf of a public governmental body or its representatives for negotiations with employee groups (RSMo 610.021(9) 1994; and/or bidding specification (RSMo 610.021(11) 1994.

PERSONS REQUIRING AN ACCOMMODATION TO ATTEND AND PARTICIPATE IN THE CITY COUNCIL MEETING SHOULD CONTACT CITY CLERK VICKIE MCGOWND AT (636)537-6716, AT LEAST TWO (2) WORKDAYS PRIOR TO THE MEETING.

UPCOMING MEETINGS/EVENTS

APPROVAL OF MINUTES

- A. Executive Session Minutes** – June 17, 2024
- B. City Council Meeting Minutes** – June 17, 2024

INTRODUCTORY REMARKS

- A. Thursday, July 18, 2024 – Planning & Public Works (5:30pm)**
- B. Tuesday, July 23, 2024 – Finance 105 (6:00pm)**
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COMMUNICATIONS AND PETITIONS

APPOINTMENTS

City of Chesterfield
Excess Checks (=> \$5,000)
June 2024

DATE	CHECK #	VENDOR	DESCRIPTION	CHECK AMT	FUND
6/6/2024	52399	JOE MACHENS FORD	2024 FORD F-150 TRUCK (REPLACE PK-18, A 2015 GMC SIERRA 1500 WITH OVER 110,000 MILES)	\$ 52,156.00	119
6/6/2024	52408	SECURITY EQUIPMENT SUPPLY	UPGRADE VIDEO SECURITY COMPONENTS (CAMERAS, RECORDERS, HARDWARE) AT AMPHITHEATER AND PARKS ADMIN BUILDING	6,928.74	119
6/20/2024	52460	AMEREN MISSOURI	CONCESSION STAND B, 17925 NORTH OUTER FORTY RD - SERVICE 5/7-6/6/2024	5,029.68	119
6/20/2024	52480	HEAVY DUTY EQUIPMENT	TWO EXMARK MOWERS TO REPLACE PK-265 AND PK-282	13,598.00	119
6/20/2024	52482	LANDSCAPE STRUCTURES INC	CVAC B1 PLAYGROUND REPLACEMENT - MIRACLE FIELD RENOVATION PROJECT	273,919.00	119
6/6/2024	72423	AMCON MUNICIPAL CONCRETE, LLC	SIDEWALK REPLACEMENT PROJECTS-PROGRESS PYMT #3	241,705.65	120
6/6/2024	72426	ARROWHEAD ESTATES HOMEOWNERS' ASSOC.	2023-2024 SNOW REMOVAL REIMBURSEMENT	6,120.00	001
6/6/2024	72428	AXON ENTERPRISE INC.	TASER SUPPLIES - CARTRIDGES AND BATTERY PACKS	12,923.00	121
6/6/2024	72430	BAXTER RIDGE CONDOMINIUM ASSOCIATION	2023-2024 SNOW REMOVAL REIMBURSEMENT	6,750.00	001
6/6/2024	72432	BAYWOOD VILLAGES CONDOMINIUMS	2023-2024 SNOW REMOVAL REIMBURSEMENT	6,440.00	001
6/6/2024	72438	CHESTERFIELD VILLIAGE TOWNHOMES	2023-2024 SNOW REMOVAL REIMBURSEMENT	7,720.00	001
6/6/2024	72439	COMMONS OF BROADMOOR	2023-2024 SNOW REMOVAL REIMBURSEMENT	6,806.78	001
6/6/2024	72441	DELTA DENTAL OF MISSOURI	JUNE 2024 DENTAL INSURANCE PREMIUMS	13,640.75	001
6/6/2024	72449	FOUR SEASONS SUBDIVISION	2023-2024 SNOW REMOVAL REIMBURSEMENT	5,350.00	001
6/6/2024	72455	GULF STATES	AMMUNITION FOR POLICE DEPARTMENT TRAINING AND SERVICE AMMUNITION FOR ALL OFFICERS	10,045.00	121
6/6/2024	72465	LIFT RITE, INC.	SIDEWALK LEVELING PROJECT - PROGRESS PYMT #1	98,580.00	120
6/6/2024	72477	NEXT-LEVEL CONSTRUCTION, LLC	WILDHORSE PARKWAY RECONSTRUCTION PROJECT - PROGRESS PYMT #6	296,589.00	120
6/6/2024	72482	RSC INSURANCE BROKERAGE, INC	PROPERTY ENDORSEMENT EXTENDING POLICY TO AUGUST 2024	31,803.00	001
6/6/2024	72485	ST. LOUIS AREA HEALTH INSURANCE TRUST-MFDICAI	JUNE 2024 HEALTH INSURANCE PREMIUMS	216,437.88	001
6/6/2024	72523	ZUMWALT CORPORATION	REPLACEMENT OF THE SALT DOME TARP CURTAIN WITH ALUMINUM ROLLING DOOR	21,698.00	120
6/7/2024	72527	PRESTIGE CUSTOM HOMES, INC.	LOT CASH ESCROW RELEASE, FIENUP FARMS, LOTS 163D-170D & 172D-179	24,000.00	808
6/7/2024	72528	SHELBOURNE HEALTHCARE DEVELOPMENT GROUP, LLC	GRADING SURETY RELEASE, G-113-21, 16255 W. CHESTERFIELD PKWY, FINAL INSPECTION COMPLETE	13,375.00	808
6/13/2024	72537	HESSE GRAVILLE, LLC	JUNE 2024 LEGAL AND PROFESSIONAL SERVICE FEES	25,741.25	001
6/13/2024	72548	ST. LOUIS COUNTY MISSOURI - POLICE DEPT	COMMUNICATIONS CONTRACT FOR POLICE DEPARTMENT COMPUTER ASSISTED REPORT ENTRY SYSTEM	17,734.32	121
6/13/2024	72550	THE HARTFORD-PRIORITY ACCOUNTS	JUNE 2024 GROUP LIFE, LTD, STD, VOL LIFE, ACCIDENT, AND CRITICAL ILLNESS INSURANCE	14,852.44	001
6/20/2024	72559	AMEREN MISSOURI	690 CHESTERFIELD PKWY W - SERVICE 5/7-6/6/2024	14,006.98	001
6/20/2024	72572	ENERGY PETROLEUM CO.	MID RFG GASOLINE 89 OCT, DIESEL, ULTRA LS	24,225.09	001
6/20/2024	72575	FARINELLA NURSERY LANDSCAPE CONST. LLC	2024 STREET TREE PLANTING	29,075.00	001
6/20/2024	72602	PNC BANK	MAY-JUNE 2024 PNC MONTHLY CREDIT CARD STATEMENT	17,707.66	001
6/20/2024	72606	RSC INSURANCE BROKERAGE, INC	2024-2025 PUBLIC OFFICIALS AND CYBER INSURANCE	77,604.00	001
6/20/2024	72609	SCA OF MO, LLC	2024 SPRING STREET SWEEPING	13,000.00	001
6/20/2024	72611	SHI INTERNATIONAL CORP	ANNUAL MICROSOFT VOLUME SOFTWARE LICENSING	60,021.44	001
6/20/2024	72620	TIMBERLINE PROFESSIONAL TREE CARE LLC	2024 STREET TREE AND STUMP REMOVALS	9,425.00	001
6/20/2024	72621	TOPE INC	356 RIDGEMEADOW - SEWER REPAIR	6,182.00	110
6/20/2024	72625	TOPE INC	1863 STENTON PATH - SEWER REPAIR	7,562.00	110
6/27/2024	72631	AMCON MUNICIPAL CONCRETE, LLC	CONCRETE SLAB REPLACEMENT PROJECT B - PROGRESS PYMT #4	31,213.20	120
6/27/2024	72641	GEOTECHNOLOGY INC.	CONSTRUCTION AND INSPECTION TESTING SERVICES - PROGRESS PYMT #2	34,917.03	120
6/27/2024	72647	HORNER & SHIFRIN INC.	SCHOETTLER ROAD SIDEWALK EXTENSION - ENGINEERING SERVICES-PROGRESS PYMT #1	31,298.65	120
6/27/2024	72656	M & H CONCRETE CONTRACTORS, INC.	CONCRETE SLAB REPLACEMENT PROJECT A - PROGRESS PYMT #2	834,091.78	120
6/27/2024	72668	REAL ESTATE ANALYSTS, LTD	CENTRAL PARK PROPERTY APPRAISAL	5,750.00	120
6/27/2024	72670	REJIS COMMISSION	REJIS CONTRACTUAL FEES-JUNE 2024	8,284.25	121
6/27/2024	72674	SPENCER CONTRACTING COMPANY	ACCESSIBLE SIDEWALK RAMP IMPROVEMENT PROJECT - PROGRESS PYMT #1	47,503.32	120
6/27/2024	72677	ST. LOUIS AREA INSURANCE TRUST	2024-2025 WORKER'S COMP, GENERAL, POLICE, AND AUTO LIABILITY INSURANCE	487,758.00	001
				<u>\$ 3,169,568.89</u>	

Respectfully submitted by,
Jeannette Kelly, Director of Finance



<u>Fund Legend</u>	
General Fund	001
Sewer lateral fund	110
Police forfeiture fund	114
Parks	119
Capital Improvements	120
Public Safety	121
Am Rescue Plan Act	137
Trust & Agency	808
TGA Trust Fund	810



RECORD OF PROCEEDING

MEETING OF THE CITY COUNCIL OF THE CITY OF CHESTERFIELD AT 690 CHESTERFIELD PARKWAY WEST

JUNE 17, 2024

The meeting was called to order at 7 p.m.

Mayor Bob Nation led everyone in the Pledge of Allegiance and followed with a moment of silent prayer.

A roll call was taken with the following results:

PRESENT

ABSENT

Mayor Bob Nation
Councilmember Mary Monachella
Councilmember Barbara McGuinness
Councilmember Aaron Wahl
Councilmember Mary Ann Mastorakos
Councilmember Dan Hurt
Councilmember Michael Moore
Councilmember Merrell Hansen
Councilmember Gary Budoor

APPROVAL OF MINUTES

The minutes of the June 3, 2024 Executive Session were submitted for approval. Councilmember Moore made a motion, seconded by Councilmember Budoor, to approve the June 3, 2024 Executive Session minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

The minutes of the June 3, 2024 City Council meeting were submitted for approval. Councilmember Wahl made a motion, seconded by Councilmember Moore, to approve the June 3, 2024 City Council minutes. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

INTRODUCTORY REMARKS

Mayor Nation announced that the next meeting of City Council is scheduled for Monday, July 15, at 7 p.m.

COMMUNICATIONS AND PETITIONS

Mr. Stephen Kling, representing Gumbo Flats Properties, spoke in support (including proposed amendments) and stated that he was available to answer questions pertaining to Bill No. 3508 (P.Z. 02-2024 18009 and 18045 N. Outer 40 Rd. [Gumbo Flats Properties, LLC]).

Mr. George Stock, 257 Chesterfield Business Parkway, spoke in support (including proposed amendments) and stated that he was available to answer questions pertaining to Bill No. 3508 (P.Z. 02-2024 18009 and 18045 N. Outer 40 Rd. [Gumbo Flats Properties, LLC]).

Chief Russ Adams and Deputy Chief Nick Smith, Monarch Fire Protection District, provided information and spoke in support of the Monarch Fire property tax proposal (Proposition A) that will be on the August 6 ballot.

APPOINTMENTS

Mayor Nation nominated Mr. Larry Walker for appointment to the Police Personnel Board, effective August 15, 2024. Councilmember Hansen made a motion, seconded by Councilmember Moore, to appoint Mr. Larry Walker to the Police Personnel Board for a term of three years. A voice vote was taken with a unanimous affirmative result and the motion was declared passed.

COUNCIL COMMITTEE REPORTS AND ASSOCIATED LEGISLATION

Planning & Public Works Committee

Bill No. 3508	Repeals City of Chesterfield Ordinance Number 2944 for a “PI” Planned Industrial District and creates a new “PI” Planned Industrial District for a 78.07 acre tract of land located on the north side of Outer 40 Road [P.Z. 02-2024 18009 and 18045 N. Outer Forty Road (Gumbo Flats Properties, LLC), 16W310045 and 16W240041]. (Second Reading) Planning Commission recommends approval. Planning & Public Works Committee voted 2-2 and moves forward to City Council.
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Councilmember Dan Hurt, Chairperson of the Planning & Public Works Committee, made a motion, seconded by Councilmember Hansen, for the second reading of Bill No. 3508.

Councilmember Hurt made a motion, seconded by Councilmember Hansen, to amend Bill No. 3508 by removing the Non-Urban zoned portion of the property from the petition. A voice vote was taken with a unanimous affirmative result and the motion to amend was declared passed.

Councilmember Hurt made a motion, seconded by Councilmember Hansen, to further amend Bill No. 3508 by adding the following language to Attachment A, under Landscape and Tree Requirements:

The proposed parking areas shall be screened by a minimum 10' berm (in lieu of the 8' berm shown on the Preliminary Development Plan) and include landscaping consisting of 12' tall Green Giant Arborvitae (or similar plantings approved by the City of Chesterfield).

A voice vote was taken with a unanimous affirmative result and the motion to further amend was declared passed.

A voice vote was taken with a unanimous affirmative result and the original motion for the second reading of Bill No. 3508, as amended, was declared passed. Bill No. 3508 was read for the second time. A roll call vote was taken for the passage and approval of Bill No. 3508 with the following results: Ayes – Moore, Budoor, Wahl, Monachella, Hansen, McGuinness, Mastorakos and Hurt. Nays – None. Whereupon Mayor Nation declared Bill No. 3508 approved, passed it and it became **ORDINANCE NO. 3299**.

Councilmember Hurt announced that the next meeting of this Committee is scheduled for Thursday, June 20, at 5:30 p.m.

Finance & Administration Committee

Councilmember Barbara McGuinness, Chairperson of the Finance & Administration Committee, announced that the next meeting of this Committee is scheduled for Monday, July 1, at 4:00 p.m.

Parks, Recreation & Arts Committee

Councilmember Gary Budoor, Chairperson of the Parks, Recreation & Arts Committee, indicated that there were no action items scheduled on the agenda for this meeting.

Public Health & Safety Committee

Councilmember Aaron Wahl, Chairperson of the Public Health & Safety Committee, announced that the next meeting of this Committee is scheduled for Monday, July 1, at 5:00 p.m.

REPORT FROM THE CITY ADMINISTRATOR

City Administrator Mike Geisel reported that Staff has recommended the installation of a mid-block pedestrian crosswalk near Logan Park, including a rectangular rapid flashing beacon at an estimated cost of \$17,600 and approval of a landscaping reimbursement to the adjacent subdivision in an amount not to exceed \$1,500, both funded by a transfer from the General Fund Fund Reserve in the amount of \$19,100. Councilmember Hurt made a motion, seconded by Councilmember Moore, to approve this recommendation. Councilmember Moore indicated that there had been substantial communication and public outreach including multiple residents of the subdivision directly adjacent to the proposed crosswalk who were supportive of the crosswalk installation at the recommended location. A roll call vote was taken with the following results: Ayes – Hurt, Budoor, Wahl, Monachella, Hansen, Mastorakos, Moore and McGuinness. Nays – None. Whereupon Mayor Nation declared the motion passed.

OTHER LEGISLATION

There was no other legislation scheduled for this meeting.

UNFINISHED BUSINESS

There was no unfinished business scheduled on the agenda for this meeting.

NEW BUSINESS

There was no new business.

ADJOURNMENT

There being no further business to discuss, Mayor Nation adjourned the meeting at 7:32 p.m.

Mayor Bob Nation

ATTEST:

Vickie McGownd, City Clerk

APPROVED BY CITY COUNCIL: _____

Proclamation

City of Chesterfield, Missouri

Whereas:

Cicardi Bruce is a native of St. Louis, MO and attended John Burroughs High School and the University of Arizona, where he focused his studies on business and finance; and

WHEREAS,

after college, Cicardi Bruce successfully expanded his family's printing business from \$500K in gross sales with thirty employees to over \$6M in annualized revenues with more than two hundred and fifty employees; and

WHEREAS,

Cicardi Bruce, after selling the printing business, became a printing broker for eighteen years before retiring at age fifty and later managed his own investment portfolio; and

WHEREAS,

in 2002, Cicardi Bruce was elected Chairman & CEO of American Marketing Group, Inc., and in 2009, Chairman and CEO of the U.S. Small Business Institute, aiding small businesses in achieving their financial goals; and

WHEREAS,

Cicardi Bruce has held numerous volunteer and leadership roles, including Chairman of the Saint Louis Ambassadors '1904 World's Fair Charitable Foundation' and guest lecturer at St. Louis University and Washington University; and

WHEREAS,

Cicardi Bruce has been involved as a founder, officer, or board member in over thirty organizations, raising millions of dollars and fostering the spirit of volunteerism and community service; and

WHEREAS,

Cicardi has supported and promoted good government within the City of Chesterfield, as well as the State of Missouri, and persistently promotes positive activities that benefit our community;

NOW, THEREFORE, I, Bob Nation, Mayor of the City of Chesterfield, do hereby proclaim July 15, 2024 as

***Cicardi A. Bruce Day
In the City of Chesterfield***

IN WITNESS WHEREOF, I HAVE HERETO SET MY HAND AND CAUSED THE OFFICIAL SEAL OF THE CITY OF CHESTERFIELD TO BE AFFIXED THIS 15th DAY OF JULY 2024.



Bob Nation

Bob Nation, Mayor

ATTEST:

Vickie McGownd

Vickie McGownd, City Clerk

PLANNING AND PUBLIC WORKS COMMITTEE

Chair: Councilmember Dan Hurt

Vice Chair: Councilmember Mary Monachella

A. Proposed Bill No. 3510 – 04-2024 The Smokehouse:

An ordinance repealing City of Chesterfield ordinance 2125 to amend the legal description and the development criteria for an existing “C8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road. (17T240201, 17T240199). **(First Reading) Planning Commission recommends approval. Planning & Public Works Committee recommends approval.**

B. FSP 60-2024 VERIZON (13703 Olive Blvd): A request for a new Facilities Siting Permit to install a new cell pole and accompanying infrastructure and a new power pole with transformer located in the City of Chesterfield right-of-way at the Dierbergs Meditation Park at the northwest intersection of Olive Boulevard and River Valley Drive (Ward 1). **Planning & Public Works Committee recommends approval.**

C. Next Meeting – July 18, 2024


NEXT MEETING

The next Planning and Public Works Committee is scheduled for Thursday, July 18 2024, at 5:30pm.

If you have any questions or require additional information, please contact Director of Planning - Justin Wyse, Director of Public Works – Jim Eckrich, or me prior to Monday’s meeting.

MEMORANDUM

TO: Mike Geisel, City Administrator

FROM: Justin Wyse, Director of Planning 

SUBJECT: Planning & Public Works Committee Meeting Summary
Thursday, June 20, 2024



A meeting of the Planning and Public Works Committee of the Chesterfield City Council was held on Thursday, June 20, 2024 in Conference Room 101.

In attendance were: **Chair Dan Hurt** (Ward III), **Councilmember Mary Monachella** (Ward I), **Councilmember Mary Ann Mastorakos** (Ward II), and **Councilmember Merrell Hansen** (Ward IV).

Also in attendance were: Elliot Brown, Assistant City Administrator; Justin Wyse, Director of Planning; Isaak Simmers, Planner; Theresa Barnicle, Executive Assistant; Tom Sehnert, Owner of Annie Gunn's; Mike Doster, Attorney representing Annie Gunn's; and Tysen Weishaar, Representative for applicant regarding FSP 60-2024.

The meeting was called to order at 5:30 p.m.

I. APPROVAL OF MEETING SUMMARY

A. Approval of the June 6, 2024 Committee Meeting Summary

Councilmember Hansen made a motion to approve the Meeting Summary of June 6, 2024. The motion was seconded by Councilmember Monachella and **passed** by a voice vote of 4-0.

II. UNFINISHED BUSINESS

- A. **FSP 60-2024 VERIZON (13703 Olive Blvd)**: A request for a new Facilities Siting Permit to install a new cell pole and accompanying infrastructure and a new power pole with transformer located in the City of Chesterfield right-of-way at the Dierberg Meditation Park at the northwest intersection of Olive Boulevard and River Valley Drive (Ward 1).

DISCUSSION

This item was originally postponed from the last meeting so that the City Attorney could be consulted about this measure. Since the applicant reiterated that the sites were specifically chosen due to them having to decommission a macro rooftop site, no adverse action can be taken

and the measure must move forward to allow completion of the series of pole installations. The council was in accord that they were not happy about approving, but did so to get the measure to City Council so that there could be further discussion from additional councilmembers and citizens.

Councilmember Hurt made a motion to approve FSP 60-2024 VERIZON (13703 Olive Blvd) to City Council with a recommendation to approve. The motion was seconded by Councilmember Monachella. Councilmember Mastorakos then made a motion to amend the motion to include a request that nearby residents and HOA's in the area be made aware of the plans for the tower. Councilmember Hansen seconded, and the amendment to the motion passed by a voice vote of 4-0. The amended motion passed with a voice vote of 3-1 with councilmember Hansen voting nay.

III. NEW BUSINESS

- A. P.Z. 04-2024 The Smokehouse:** A request to amend the legal description and the ordinance for an existing "C-8" Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road (Ward 4).

DISCUSSION

Councilmember Hansen commended Planning Commission for vetting this, and made a motion to recommend to City Council with a recommendation to approve. The motion was seconded by Councilmember Hurt, and passed by a voice vote of 4-0.

- B. Unfit Buildings:** Discussion on Section 500.500 – 500.670 pertaining to Unfit Buildings.

DISCUSSION

The two examples cited in the report – 1000 N. Woods Mill Road and 211 Stablestone Drive – were two of the more extreme cases, but served as talking points. Justin Wyse, Director of Planning and Elliot Brown, Assistant City Administrator, wanted to continue discussions regarding code enforcement activities and the direction the council wants to go regarding interior property inspections, as currently City code does not include standards for interior conditions of properties. These discussions have been ongoing; however, Staff regularly receives complaints from Councilmembers about not being able to address issues due to the lack of adopted standards for interior conditions of dwellings. Discussion ensued about what the owner's rights were and where the line was drawn when it came to controlling an owner's right to live as they wish in their own house.

Mr. Wyse mentioned that the two example properties were structurally sound, but the living atmosphere was unhealthy. Discussion followed after the issue was raised of how bad a property can get before the deteriorating conditions begin to affect neighboring properties, and how that correlates in relation to the current code. It was also stated that St. Louis County has raised concern with the City about condemning the example properties, but the City's hands were tied due to the current City code.

Overall, the council was in consensus that action needed to be taken regarding this matter. This item was for discussion only, so no vote was necessary. However, a plan was proposed to begin working more in-depth with code enforcement to increase the frequency of violations over the next few months, and in that time, for Mr. Wyse and Mr. Brown to reach out to several surrounding cities to compare their codes and their handling of such issues to ours. Council will revisit this issue in no more than three months, at which time they will take into consideration the results of the increased code enforcement efforts.

IV. OTHER

- A. Councilmember Hansen requested permission to add an item to the next agenda for discussion dealing with issues with use of All Terrain Vehicles (ATVs) and noise issues during PM hours.
- B. Councilmember Hansen also requested clarification of a timeframe for council to provide an update regarding The Valley signage. It was decided that this issue will be discussed tentatively at the August 8 meeting.

V. ADJOURNMENT

The meeting adjourned at 6:46 p.m.

Memorandum

Department of Planning



To: City Council

From: Justin Wyse, Director of Planning *JW*

Date: July 15, 2024

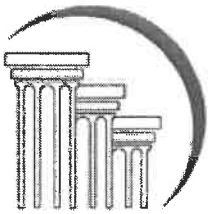
RE: **P.Z. 04-2024 The Smokehouse:** A request to amend the legal description and development criteria for an existing “C-8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road (Ward 4).

Summary

Doster, Nations, Ullom & Boyle, LLC, on behalf of the Thomas P. Sehnert Revocable Trust/Annie Gunn’s Smokehouse Market, has submitted a request to amend the legal description and development criteria for an existing “C-8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road, commonly known as Annie Gunn’s Smokehouse. The purpose of the change is to incorporate a small area of former right-of-way located between two parcels owned by the Annie Gunn’s into the planned district ordinance.

A Public Hearing was held on June 10th, 2024 for the petition. No issues were raised and the Planning Commission unanimously approved a motion to approve a recommendation for approval to the City Council. Attached to this report, please find the June 10th, 2024 Public Hearing and Vote Report, Attachment A, narrative, and Preliminary Development Plan. The Planning and Public Works Committee reviewed the petition on June 20, 2024, and the Committee made a recommendation to approve it as presented.





**DOSTER NATIONS
ULLOM & BOYLE, LLC**
ATTORNEYS AT LAW

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Suite 250
Chesterfield, MO 63017
(636) 532-0042
(636) 532.1082 Fax

Michael J. Doster
mdoster@dubllc.com

June 25, 2024

VIA REGULAR MAIL & ELECTRONIC MAIL

Justin Wyse, Director of Planning
City of Chesterfield
690 Chesterfield Parkway West
Chesterfield, MO 63017

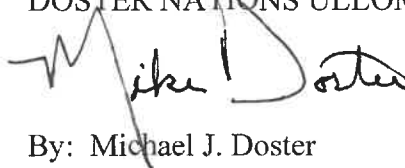
Re: PZ 04-2024, The Smokehouse

Dear Mr. Wyse:

The PPW Committee unanimously recommended approval on June 20, 2024. Since this matter only involves an updating of the Ordinance legal description to reflect the quitclaiming to the Owner of former right-of-way and the addition of the now contiguous parcel to the East owned by the same owner, there are no issues. On behalf of the owner, the undersigned respectfully requests two readings and final passage at the Council's July 15, 2024 meeting. Thank you for your consideration.

Very truly yours,

DOSTER NATIONS ULLOM & BOYLE, LLC



By: Michael J. Doster

MJD/ab

cc Thom Sehnert

RECEIVED

JUN 27 2024

City of Chesterfield-Department of Planning

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE REPEALING CITY OF CHESTERFIELD ORDINANCE 2125 TO AMEND THE LEGAL DESCRIPTION AND THE DEVELOPMENT CRITERIA FOR AN EXISTING “C8” PLANNED COMMERCIAL DISTRICT LOCATED ON THE SOUTH SIDE OF CHESTERFIELD AIRPORT ROAD AND WEST OF BAXTER ROAD. (17T240201, 17T240199).

WHEREAS, the City passed Resolution 485 authorizing the City Administrator to execute a quit claim deed to the Thomas P. Sehnert Revocable Trust for any interest in certain real property; and,

WHEREAS, the petitioner, Doster, Nations, Ullom and Boyle, LLC, on behalf of the Thomas P. Sehnert Revocable Trust/Annie Gunn’s Smokehouse Market, has requested to amend the legal description and the development criteria for an existing “C8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road; and,

WHEREAS, a Public Hearing was held before the Planning Commission on June 10, 2024; and,

WHEREAS, the Planning Commission, having considered said request, recommended approval of the change of zoning by a vote of 8-0; and,

WHEREAS, the Planning and Public Works Committee, having considered said request, recommended approval of the change of zoning by a vote of 4-0; and,

WHEREAS, the City Council, having considered said request, voted to approve the change of zoning request.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. City of Chesterfield Unified Development Code and the Official Zoning District Map, which are part thereof, are hereby amended by repealing City of Chesterfield Ordinance 2125 to amend the legal description and development criteria for an existing “C8” Planned Commercial District located on the south side of Chesterfield Airport Road and west of Baxter Road and described as follows:

A TRACT OF LAND SITUATED IN THE CITY OF CHESTERFIELD, COUNTY OF ST. LOUIS, STATE OF MISSOURI, LYING IN PART OF U.S. SURVEY 2031, TOWNSHIP 45 NORTH, RANGE 4 EAST, BEING THOSE TRACTS OF LAND CONVEYED TO THOMAS P SEHNERT REVOCABLE TRUST, AS DESCRIBED IN DEED BOOK 12593, PAGE 1348 AND DEED BOOK 25268, PAGE 3661 OF THE ST. LOUIS COUNTY LAND RECORDS, AND ALSO BEING THAT PART OF FORMER CHESTERFIELD AIRPORT ROAD RIGHT-OF-WAY CONVEYED TO SAID THOMAS P. SEHNERT REVOCABLE TRUST BY SAID ST. LOUIS COUNTY, MISSOURI, AS DESCRIBED IN DOCUMENT NO. 2023072000087, AND ALSO BEING THAT PART OF SAID FORMER CHESTERFIELD AIRPORT ROAD RIGHT-OF-WAY CONVEYED TO THOMAS P. SEHNERT REVOCABLE TRUST BY SAID CITY OF CHESTERFIELD, MISSOURI AS DESCRIBED IN DOCUMENT NO. 2023072000087, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERN LINE OF CHESTERFIELD AIRPORT ROAD (U.S. HIGHWAY 40), 100 FEET WIDE, WITH THE EASTERN LINE OF SILVER MAPLE FARMS, A SUBDIVISION FILED FOR RECORD IN PLAT BOOK 274, PAGE 96 OF THE ST. LOUIS COUNTY LAND RECORDS; THENCE ALONG SAID SOUTHERN LINE AS FOLLOWS: 238.25 FEET ALONG A CURVE TO THE RIGHT, WITH A RADIUS OF 2814.93 FEET, WITH A CENTRAL ANGLE OF 04 DEGREES 50 MINUTES 58 SECONDS, WITH A CHORD THAT BEARS SOUTH 79 DEGREES 10 MINUTES 38 SECONDS EAST A DISTANCE OF 238.18 FEET TO A POINT OF A COMPOUND CURVE; 144.70 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,814.97 FEET, THROUGH A CENTRAL ANGLE OF 002 DEGREES 56 MINUTES 43 SECONDS, WITH A CHORD THAT BEARS SOUTH 75 DEGREES 21 MINUTES 17 SECONDS EAST, A DISTANCE OF 144.69 FEET TO A POINT OF COMPOUND CURVE; 60.27 FEET ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 2,814.93 FEET, THROUGH A CENTRAL ANGLE OF 01 DEGREES 13 MINUTES 36 SECONDS, WITH A CHORD THAT BEARS SOUTH 73 DEGREES 18 MINUTES 00 SECONDS EAST, A DISTANCE OF 60.27 FEET TO THE INTERSECTION OF SAID SOUTHERN LINE OF CHESTERFIELD AIRPORT ROAD (U.S. HIGHWAY 40), 100 FEET WIDE WITH THE WESTERN LINE OF CHESTERFIELD GROVE LOT 1A & 3, ACCORDING TO PLAT BOOK 350, PAGE 242 OF SAID ST. LOUIS COUNTY LAND RECORDS; THENCE LEAVING SAID SOUTHERN LINE AND ALONG SAID WESTERN LINE, SOUTH 00DEGREES 45 MINUTES 45 SECONDS EAST, A DISTANCE OF 235.19 FEET; THENCE CONTINUING ALONG SAID WESTERN LINE AND IT'S WESTERLY PROLONGATION THEREOF, SOUTH 87 DEGREES 32 MINUTES 09 SECONDS WEST, A DISTANCE OF 180.06 FEET TO

THE NORTHEAST CORNER LINE OF A TRACT OF LAND CONVEYED TO NEIL E. SELLENRIEK AND MARY SELLENRIEK TRUST, AS DESCRIBED IN DEED BOOK 22197, PAGE 1063 OF THE ST. LOUIS COUNTY LAND RECORDS: THENCE ALONG THE NORTHERN LINE OF SAID SELLENRIEK TRUST TRACT, SOUTH 87 DEGREES 35 MINUTES 59 SECONDS WEST, A DISTANCE OF 243.52 FEET TO SAID EASTERN LINE OF SILVER MAPLE FARMS; THENCE ALONG SAID EASTERN LINE AS FOLLOWS: NORTH 00 DEGREES 37 MINUTES 58 SECONDS EAST, A DISTANCE OF 54.74 FEET, NORTH 02 DEGREES 21 MINUTES 03 SECONDS WEST, A DISTANCE OF 297.25 TO THE POINT OF BEGINNING. CONTAINING 2.921 ACRES (127,265 SQUARE FEET), BY GRIMES CONSULTING, INC., LS-343-D, DATED APRIL 2024.

Section 2. The preliminary approval, pursuant to the City of Chesterfield Zoning Ordinance is granted, subject to all of the ordinances, rules and regulations.

Section 3. The City Council, pursuant to the petition filed by Doster, Nations, Ullom and Boyle, LLC, on behalf of the Thomas P. Sehnert Revocable Trust/Annie Gunn's Smokehouse Market, in P.Z. 04-2024, requesting the rezoning embodied in this ordinance, and pursuant to the recommendation of the City of Chesterfield Planning Commission that said petition be granted and after a public hearing, held by the Planning Commission on the 10th day of June, 2024, does hereby adopt this ordinance pursuant to the power granted to the City of Chesterfield under Chapter 89 of the Revised Statutes of the State of Missouri authorizing the City Council to exercise legislative power pertaining to planning and zoning.

Section 4. This ordinance and the requirements thereof are exempt from the warning and summons for violations as set out in Section 8 of the City of Chesterfield Unified Development Code.

Section 5. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2024.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie McGownd, CITY CLERK

FIRST READING HELD: 7/15/2024

ATTACHMENT A

In keeping with the following Comprehensive Plan policies, these conditions have been developed:

- 1.0 General Policies
- 3.1 Quality Commercial Development
- 3.4 Signage Considerations
- 3.5 Chesterfield Valley
- 7.2.1 Maintain Proper Level of Service
- 7.2.3 Maintain Proper Traffic Flow
- 8.2.2 Underground Electric Service
- 8.3 Stormwater Management

I. PERMITTED USES

A. The uses allowed this “C-8” Planned Commercial District shall be:

1. Market
2. Restaurant, sit –down
3. Residence

II. FLOOR AREA, HEIGHT, BUILDING AND PARKING STRUCTURE REQUIREMENTS

A. The following requirements will apply to the permitted uses:

1. FLOOR AREA

- a. Total building floor area will not exceed **20,600 square feet**. The square footage constructed will be based on the development’s ability to comply with the City of Chesterfield parking requirements.

2. HEIGHT

- a. The maximum height of the building will not exceed three-stories in height.

3. BUILDING REQUIREMENTS

- a. Greenspace: A minimum of twenty-two percent (22%) greenspace is required for this development. Greenspace is determined by a fraction: the numerator of which is all green area plus all non-

paved surfaces, the denominator of which is the total area of the site minus the area of the pedestrian access ways as approved by the City of Chesterfield. The greenspace calculation for this development shall not include any of the greenspace area or the paved area within the rights-of-way of east-west bound Chesterfield Airport Road or the north-south bound section Chesterfield Airport Road used for parking under license granted by Saint Louis County.

III. SITE DEVELOPMENT PLAN SUBMITTAL REQUIREMENTS

Within eighteen (18) months from the date of approval of the preliminary development plan by the City Council and prior to issuance of any building permit, the developer will submit to the City of Chesterfield for their review and approval a Site Development Plan. Where due cause is shown by the developer, this time interval may be extended through appeal to and approval by the Planning Commission in accordance with the City of Chesterfield Zoning Ordinance.

Failure to comply with aforementioned time limits or receipt of an extension prior to the aforementioned time requirements will result in the expiration of preliminary plan and will require a new public hearing. The Site Development Plan will include but not be limited to the following:

IV. GENERAL CRITERIA

A. The Site Development Plan will include the following:

1. Outboundary plat and legal description of the property.
2. Location and size, including height above sea level, of all buildings, parking and loading areas, light standards, fencing, free-standing signs, trash enclosures, and all other above-ground structures and landscaping.
3. Location map, north arrow, and plan scale.
4. Parking calculations.
5. Architectural elevations (with design statement) and materials of the proposed building.
6. Confirmation of compliance with the sky exposure plan and height restrictions as set forth in this ordinance.
7. Specific structure and parking setbacks along all roadways and property lines.

8. The size and approximate location of the proposed internal and adjacent roadway, major utility easements, necessary right-of-way dedications, road improvements, and curb cuts.
9. Existing and proposed contours at intervals of not more than one (1) foot, and extending 150 feet beyond the limits of the site.
10. Existing improvements within 150 feet of the site as directed. Road and driveways on the opposite side of roadways adjacent to the site, and the location of significant natural features, such as wooded areas and rock formations, that are to remain or be removed will be included.
11. All existing and proposed easements/rights-of-way on site and all existing or proposed off-site easements and rights-of-way required for utilities, storm water drainage, grading, or other improvements.
12. Prior to Site Development Plan approval, show all existing or proposed easements and right-of-way on site. The Site Development Plan and Tree Preservation Plan must be approved prior to clearing or grading.
13. The location of the proposed storm sewers, detention basins, sanitary sewers and connection(s) to existing systems.
14. Show existing improvements and the locations of significant natural features, such as wooded areas and rock formations that are to remain or be removed.
15. Comply with all preliminary plat requirements of the City of Chesterfield Subdivision Ordinance.
16. The scale to which the Site Development Plan will be drawn will be no greater than one (1) inch equals one hundred (100) feet.
17. Provide comments/approvals from the appropriate Fire District, the Metropolitan St. Louis Sewer District, the St. Louis County Department of Highways and Traffic, and the Missouri Department of Transportation.
18. Signed and sealed in conformance with the State of Missouri Department of Economic Development, Division of Professional Registration, Missouri Board for Architects, Professional Engineers and Land Surveyors requirements.
19. Provide the greenspace percentage and Floor Area Ratio (F.A.R).

20. Provide a tree stand delineation, as directed by the City of Chesterfield.

V. SPECIFIC CRITERIA

A. The Site Development Plan will illustrate adherence to the following site-specific design criteria:

1. Structure Setbacks

No building or structure, other than a freestanding project identification sign, boundary and retaining walls, light standards, flag poles or fences will be located within the following setbacks:

- a. Forty (40) feet from Chesterfield Airport Road.
- b. Seventy (70) feet from the southern boundary of the “C-8” Planned Commercial District.
- c. Twenty (20) feet from the western boundary of the “C-8” Planned Commercial District.
- d. Two-hundred twenty-five (225) feet from the eastern boundary of the “C-8” Planned Commercial District.

2. Parking and Loading Space Setbacks

No parking stall, loading space, internal driveway, or roadway, except points of ingress and egress, will be located within the following setbacks:

- a. Ten (10) feet from Chesterfield Airport Road.
- b. Five (5) feet setback from the Rear and both Sides of the “C-8” Planned Commercial District.

3. Parking and Loading Requirements

Parking and loading spaces for this development will be as required in Section 1003.165 of the City of Chesterfield Zoning Ordinance.

Adequate on-site parking for construction related vehicles and equipment shall be provided. No parking shall be permitted on the Chesterfield Airport Road right of way.

4. Access

Direct access to Chesterfield Airport Road shall be limited to two entrances on the westernmost parcel, and to one entrance on the easternmost parcel, and shall be as approved by the St. Louis County Department of Highways and Traffic and the City of Chesterfield.

The centerline of one entrance onto Chesterfield Airport Road from the westernmost parcel shall be located no closer than 34 feet from the western property line of said westernmost parcel, or as directed by the City of Chesterfield and the St. Louis County Department of Highways and Traffic. The centerline of the other entrance onto Chesterfield Airport Road from the westernmost parcel shall be located no closer than 31 feet from the eastern property line of said westernmost parcel, or as directed by the City of Chesterfield and the St. Louis County Department of Highways and Traffic.

The centerline of the entrance onto Chesterfield Airport Road from the easternmost parcel shall be located approximately 19.5 feet east of the centerline of the existing entrance, or as directed by the City of Chesterfield and the St. Louis County Department of Highways and Traffic.

5. Public/Private Road Improvements, Including Pedestrian Circulation shall be as directed by the City of Chesterfield Dept. of Public Works and the Saint Louis County Dept. of Highways and Traffic.

The developer shall provide a five-foot sidewalk along Chesterfield Airport Road.

6. Traffic Study

Prior to Site Development Plan approval, provide a traffic study, including internal and external circulation, for review, and approval, by the City of Chesterfield Department of Public Works, and the St. Louis County Department of Highways and Traffic as directed.

7. Landscape Plan

The developer shall submit a landscape plan in accordance with the Landscape Guidelines adopted by the Planning Commission, either as part of the appropriate Site Development Concept Plan or on a separate drawing to be reviewed as part of said plan, to comply with the following:

- a. If the estimated cost of new landscaping indicated on the Site Development (Section) Plan(s) as required by the Planning Commission exceeds one thousand (\$1,000) dollars, as determined by a plant nursery, the petitioner shall furnish a two (2) year bond or escrow sufficient in amount to guarantee the installation of said landscaping.
- b. Prior to release of the Landscape Installation Bond/Escrow, a two (2)-year Landscape Maintenance Bond/Escrow will be required.

8. Sign Requirements

- a. A sign package, conforming to the requirements of City of Chesterfield Ordinance 2057/Zoning Ordinance Section 1003.168 Sub-Section 4(Sigh Package Requirements), shall be submitted in conjunction with the Site Development Plan. Signage for the development shall be as approved by the Planning Commission..
- b. Ornamental Entrance Monument construction, if proposed, shall be reviewed by the City of Chesterfield Department of Public Works, and/or the St. Louis County Department of Highways and Traffic, for sight distance considerations prior to installation or construction.
- c. No advertising signs, temporary signs, portable signs, off site signs, or attention getting devices shall be permitted in this development.
- d. All permanent freestanding business and identification signs shall have landscaping, which may include, but not be limited to, shrubs, annuals, and other materials, adjacent to the sign base or structural supports. This landscaping shall be as approved by the Planning Commission on the Site Development Plan.
- e. All other signs shall be permitted in accordance with the regulations of Section 1003.168 of the City of Chesterfield Zoning Ordinance.

9. Light Requirements

- a. Lighting for the development shall adhere to the light standards and requirements set forth in the City of Chesterfield Lighting Ordinance.
- b. The location of the light standards will be as approved by the Planning Commission on the Site Development Plan and will be in conformance with City of Chesterfield regulations. A Lighting

Plan, with specific product information, is required in conjunction with the Site Development Plan.

- c. Except for required street lighting, no source of illumination will be so situated that light is cast on any public right-of-way or adjoining property. Lighting will be required in compliance with City of Chesterfield regulations, including the Subdivision Ordinance.

10. Architectural elevations

The developer shall submit architectural elevations and building materials. Architectural information is to be reviewed by the Architectural Review Board prior to submission to the Planning Commission.

11. Monarch-Chesterfield Levee District approvals shall be required prior to Site Development Plan approval.

12. Recreational Easements shall be granted as required by the Department of Public Works.

13. Power of Review

Either Councilmember of the Ward where a development is proposed, or the Mayor, may request that the site plan for a development be reviewed and approved by the entire City Council. This request must be made no later than twenty-four (24) hours before posting the agenda for the next City Council meeting after Planning Commission review and approval. The City Council will then take appropriate action relative to the proposal.

14. Miscellaneous

- a. Trash enclosures: The location and elevation of any trash enclosures will be as approved by the Planning Commission on the Site Development Plan. All exterior trash areas will be enclosed with a six (6) foot high sight-proof enclosure complimented by adequate landscaping approved by the Planning Commission on the Site Development Plan. The material will be as approved by the Planning Commission in conjunction with the Site Development Plan.
- b. Prior to the issuance of any occupancy permit, the existing stormwater channel located at the southern end of the westernmost parcel shall be regarded and cleaned out in such a manner as to restore the grade of the channel to it's original design condition.
- c. Prior to improvement plan approval, a Chesterfield Valley Master Stormwater Easement must be granted for the existing stormwater channel located at the southern end of the westernmost parcel

- d. The maintenance of the required stormwater/ditch system shall be the responsibility of the property owner(s).
- e. Mechanical equipment will be adequately screened by roofing or other material as approved by the Planning Commission
- f. All utilities will be installed underground. The development of this parcel will coordinate the installation of all utilities in conjunction with the construction of any roadway on site.

Sleeves for future telecommunication services are required to be installed adjacent and/or parallel to any proposed roadway, or other location as directed by the City of Chesterfield, in order to facilitate the installation of utilities and telecommunication infrastructure for current and future users.

- g. The Old Smokehouse historic structure will be relocated and retained on site.

VI. TRUST FUND CONTRIBUTION

The developer may be required to submit a Traffic Generation Assessment as directed by the City of Chesterfield and Saint Louis County Dept of Highways and Traffic.

If types of development differ from those listed, the Department of Highways and Traffic will provide rates.

Credits for roadway improvements will be as approved by the City of Chesterfield and St. Louis County Department of Highways and Traffic.

As this development is located within a trust fund area, any portion of the traffic generation assessment contribution which remains following completion of road improvements required by the development, will be retained in the appropriate trust fund.

The amount of this required contribution, if not submitted by January 1, 2005, will be adjusted on that date and on the first day of January in each succeeding year thereafter in accordance with the construction cost index as determined by the St. Louis County Department of Highways and Traffic.

Traffic generation assessment contributions will be deposited with the City of Chesterfield or St. Louis County in the form of a check made payable to the City of Chesterfield prior to the issuance of building permits. If development phasing is anticipated, the developer will provide the traffic generation assessment contribution prior to issuance of building permits for each phase of development.

VII. VERIFICATION PRIOR TO APPROVAL

A. Prior to approval of the Site Development Plan, the developer will provide the following:

1. Roadway Improvements and Curb Cuts.

a. Obtain approval from the City of Chesterfield Department of Public Works and the St. Louis County Highways and Traffic for the locations of proposed curb cuts, areas of new dedication, and roadway improvements.

2. Stormwater and Sanitary Sewer.

a. The site will provide for the positive drainage of storm water and it will be discharged at an adequate natural discharge point. No change in watersheds will be permitted. The adequacy of any existing downstream storm water facilities will be verified and upgraded if necessary as directed by the City of Chesterfield Department of Public Works. Emergency overflow drainage ways to accommodate the 100-year storm will be provided. Off-site easements for areas inundated by headwater from on site improvements will be provided as required by the Department of Public Works.

b. Stormwater drainage improvements shall be operational prior to the paving of any driveways or parking lots. Roadway and related improvements shall be constructed prior to 60% occupancy of the retail portion of the site.

3. Geotechnical Report.

Prior to Site Development Plan approval, provide a geotechnical report, as directed by the City of Chesterfield, Department of Public Works, prepared by a Professional Engineer licensed to practice in the State of Missouri. Said Report will verify the suitability of grading and proposed improvements with soil and geologic conditions. A statement of compliance, signed and sealed by the Geotechnical Engineer preparing the report, will be included on all Site Development Plans. This report will address the existence of any potential sinkholes, ponds, dams, septic fields, etc., and recommendation for treatment.

4. Grading and Improvement Plans.

a. A clearing/grading permit or improvement plan approval may be required prior to any grading on the site. The Site Development Plan and Tree Preservation Plan, if needed, must be approved prior to issuance of clearing and grading. A floodplain development permit must be obtained prior to any work in the regulated floodplain.

b. Interim storm water drainage control in the form of siltation control and/or siltation basins is required throughout construction. A Storm Water Pollution Prevention Plan (SWPPP) must be submitted and approved by the Department of Public Works prior to approval of any clearing or grading. The SWPPP will address required erosion control practices specific to site conditions. Its purpose is to ensure the design, implementation, management and maintenance of Best Management Practices (BMP's) to

reduce the amount of sediment and other pollutants in storm water discharges associated with land disturbance activities. The SWPP will ensure compliance with Missouri Water Quality Standards, and the terms and conditions of the NPDES for the site.

- c. Temporary settlement basins, as required by the City of Chesterfield Department of Public Works, will be constructed during construction to allow for settling of sediment, prior to the discharge of storm water from this site. Erosion and siltation control will be installed prior to any grading and be maintained throughout the project until acceptance of the work by the owner and/or controlling regulatory agency and adequate vegetative growth insures no future erosion of the soil.
- d. When clearing and/or grading operations are completed or suspended for more than 30 days, all necessary precautions will be taken to retain soil materials on site. Protective measures, such as permanent seeding, periodic wetting or other means, may be required by the Director of Public Works/City Engineer upon demand.
- e. Provide adequate temporary off-street parking for construction employees and a vehicle washdown/cleaning area. Parking on non-surface areas is prohibited in order to eliminate the condition whereby mud from construction and employee vehicles is tracked on the pavement causing hazardous roadway and driving conditions. The contractor will keep the roads in the area clear of mud and debris related to his construction at all times. The streets surrounding this development and any street used for construction access thereto will be cleaned at the end of each day.
- f. If cut and fill operations occur during a season not favorable for immediate establishment of a permanent ground cover, a fast germinating annual such as rye grasses or sudan grasses will be utilized to retard erosion, if adequate stormwater detention and erosion control devices have not been established.
- g. This development may require an NPDES Permit from the Missouri Department of Natural Resources. NPDES permits are applicable to construction activities that disturb five or more acres. A copy of the NPDES permit must be submitted to the City of Chesterfield Department of Public Works prior to issuance of a grading permit or approval of improvement plans.
- h. Erosion and siltation control shall be installed prior to any grading and be maintained throughout the project until the acceptance of the work by the owner and/or controlling regulatory agency and adequate vegetative growth insures no future erosion of the soil. Construct temporary settlement basins during construction to allow for settling of sediment, prior to the discharge of stormwater from this site.

- i. If any development in, or alteration of, the floodplain is proposed, the developer shall submit a Floodplain Development Permit/Application to the City of Chesterfield Department of Public Works for approval. Be advised that in conjunction with any site alteration the developer will be required to demonstrate that there will be no adverse effect on other properties located within the Chesterfield Valley. The Floodplain Development Permit/Application must be approved by the City of Chesterfield Department of Public Works prior to the approval of the Improvement Plans or Grading Plans. If any change in the location of the Special Flood Hazard Area is proposed, the Developer shall be required to obtain a Letter of Map Revision (LOMR) from the Federal Emergency Management Agency. The LOMR must be issued by FEMA prior to the final release of any escrow held by the City of Chesterfield for improvements in the development.
- j. If any is proposed to be located in an existing, or proposed, Special Flood Hazard Area the building shall be clearly labeled as being located in the Floodplain on the Approved Site Development Plan and Improvement Plan. The lowest Reference Level (floor), as defined by FEMA, shall be constructed a minimum of one (1) foot above the base flood elevation unless a LOMR has been issued by FEMA prior to construction. The minimum elevation for the Reference Level for each building shall also be noted on the approved Site Development Plan and Improvement Plan.
- k. Prior to the issuance of an occupancy permit for any building within the development the Developer shall be required to submit an "Elevation Certificate" (FEMA form 81-31) for that building to the City of Chesterfield Department of Public Works.
- l. The developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the outboundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the U.S. Public Land Survey Corners.

VIII. RECORDING

Within sixty (60) days of approval of any development plan by the City of Chesterfield, the approved Plan will be recorded with the St. Louis County Recorder of Deeds. Failure to do so will result in the expiration of approval of said plan and require re-approval by the Planning Commission.

IX. CHESTERFIELD VALLEY TRUST FUND

Contributions as directed by the City of Chesterfield.

X. VERIFICATION PRIOR TO SPECIAL USE PERMIT ISSUANCE

Prior to any Special Use Permit issuance by St. Louis County Department of Highways and Traffic, if required, a special cash escrow or a special escrow supported by an Irrevocable Letter of credit must be established with this Department to guarantee completion of the required roadway improvements.

XI. VERIFICATION PRIOR TO IMPROVEMENT PLAN APPROVAL

Prior to improvement plan approval, the developer will provide the following:

1. Comments/approvals from the Missouri Department of Transportation, the Metropolitan St. Louis Sewer District and the appropriate Fire District.
2. Copies of recorded easements for off-site work, including book and page information, will be provided.

XII. VERIFICATION PRIOR TO FOUNDATION OR BUILDING PERMITS

A. Subsequent to approval of the Site Development Plan and prior to the issuance of any foundation or building permit, the following requirements will be met:

1. Notification of Department of Planning

Prior to the issuance of foundation or building permits, all approvals from the above mentioned agencies and the City of Chesterfield Department of Public Works, as applicable, must be received by the City of Chesterfield Department of Planning.

2. Notification of St. Louis County Department of Public Works

Prior to issuance of foundation or building permits, all approvals from the City of Chesterfield, {the Missouri Department of Transportation (Department of Highways and Traffic)} and the Metropolitan St. Louis Sewer District must be received by the St. Louis County Department of Public Works.

3. Certification of Plans

Provide verification that construction plans are designed to conform to the requirements and conditions of the Geotechnical Report. The Geotechnical Engineer will be required to sign and seal all plans with a certification that the proposed construction will be completed in accordance with the grading and soil requirements and conditions contained in the report.

XIII. OCCUPANCY PERMIT/FINAL OCCUPANCY

- A. The developer shall cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the outboundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the U.S. Public Land Survey Corners.
- B. Prior to final occupancy of any building the developer will provide certification by a Registered Land Surveyor that no U.S. Public Land Survey Corner has been disturbed during the construction activities or that it has been corrected and the appropriate documents filed with the Missouri Department of Natural Resources Land Survey Program.
- C. Prior to issuance of an occupancy permit, all disturbed areas will be seeded and mulched at the minimum rates defined in Appendix “A” of the City of Chesterfield’s “Model Sediment & Erosion Control Guidelines” or sodded. A temporary occupancy permit may be issued by the Department of Planning in cases of undue hardship because of unfavorable ground conditions.
- D. The obligations and conditions set forth in this attachment are specific to the developer. These obligations and conditions survive the issuance building permits until they are fulfilled and an occupancy permit shall not be released to the developer until they are met.

XIV. FINAL RELEASE OF ESCROW

Prior to the release of final escrow, the developer will provide certification by a Registered Land surveyor that all monumentation depicted on the Record Plat has been installed and that the U.S. Public Land Survey Corners have not been disturbed during the construction activities or that they have been corrected and the appropriate documents filed with the Missouri Department of Natural Resources’ Land Survey Program.

XV. GENERAL DEVELOPMENT CONDITIONS

- A. General development conditions relating to the operation, construction, improvement and regulatory requirements to be adhered to by the developer are as follows:
 - 1. Detention/retention will be provided for this site. A fence complimentary to the office building and parking structure is required around the detention basin.

2. Failure to comply with any or all the conditions of this ordinance will be adequate cause for revocation of permits by issuing Departments and Commissions.
 3. The City of Chesterfield, Missouri will enforce the conditions of this ordinance in accordance with the Site Development Plan approved by the City of Chesterfield and the terms of this Attachment A.
 4. Waiver of Notice of Violation per Section 1003.410(2) of the City of Chesterfield Zoning Ordinance.
 5. The entrance geometrics and drainage design will be in accordance with Missouri Department of Transportation (MoDot) standards and will be reviewed and approved by the City of Chesterfield and the Missouri Department of Transportation (MoDot).
 6. The petitioner will provide adequate detention to eliminate any additional water discharge to encroach MoDot right of way.
 7. Detention may be required for the entire project site such that the release rates will not exceed the allowable release rates for the post developed peak flow of the 2-year and 100-year, 24 hour storm event. Stormwater must be discharged at an adequate discharge point. Wetland mitigation will not be allowed in the detention basin area.
 8. The developer will cause, at his expense and prior to the recording of any plat, the reestablishment, restoration or appropriate witnessing of all Corners of the United States Public Land Survey located within, or which define or lie upon, the outboundaries of the subject tract in accordance with the Missouri Minimum Standards relating to the preservation and maintenance of the U.S. Public Land Survey Corners.
 9. All drainage detention storage facilities will be placed outside of the standard governmental agency planning and zoning setbacks, or 15 feet from the new or existing right of way line, whichever is greater.
 10. Non-compliance with the specific requirements and conditions set forth in this Ordinance and its attached conditions or other Ordinances of the City of Chesterfield shall constitute an ordinance violation, subject, but not limited to, the penalty provisions as set forth in Section 1003.410(2) of the Zoning Ordinance.
- B. This document shall be read as a whole and any inconsistency to be integrated to carry out the overall intent of this Attachment A.

Memorandum

Department of Planning



To: City Council

From: Justin Wyse, Director of Planning

Date: July 15, 2024

JW

RE: **FSP 60-2024 VERIZON (13703 Olive Blvd)**: A request for a new Facilities Siting Permit to install a new cell pole and accompanying infrastructure and a new power pole with transformer located in the City of Chesterfield right-of-way at the Dierbergs Meditation Park at the northwest intersection of Olive Boulevard and River Valley Drive (Ward 1).

Summary

Selective Site Consultants (SSC), Inc., on behalf of Verizon, has submitted a Facilities Siting Permit (FSP) application to furnish and install two (2) new 31'-9" tall 1'-2" diameter wood utility poles and accompanying infrastructure within an existing City of Chesterfield Right-of-Way at the Dierbergs Meditation Park at the northwest intersection of Olive Boulevard and River Valley Drive.

The plan has proposed a new pole furnished with Verizon telecommunication equipment, as well as an antenna. The pole will be set back 12.1' from the back of the curb to River Valley Drive and will be located in between two existing intersecting sidewalks. There is an additional proposed pole and transformer to be installed by Ameren, located southwest of the one to be installed by Verizon. The two poles will be connected via a 2" underground conduit running almost parallel to the existing sidewalk.

The Planning & Public Work Committee reviewed the project on June 6, 2024 and a request to hold was made. The Committee requested clarification on the regulatory role of the City in regard to facility siting permit applications. The applicant reiterated that the sites were statigically chosen by Verizon, as they had to decommission a macro rooftop, and the chosen pole locations allow coverage of that area. They also cited Missouri House Bill 1991, Section 67.5133(3), as written below:

(3) An authority shall not require the placement of small wireless facilities on any specific utility pole or category of poles or require multiple antenna systems on a single utility pole;

The Planning and Public Works Committee reviewed the project again on June 20, 2024, and a motion to recommend approval was made by a vote of 3 to 1. There were still concerns about the location of the proposed pole. The committee requested that Staff notify the trustees of adjacent resindetial subdivisions prior to being heard by City Council.



Figure 1: Subject Site



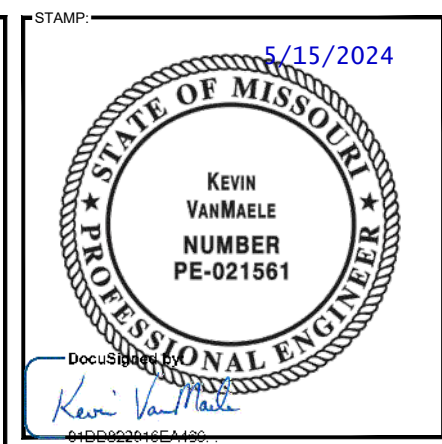
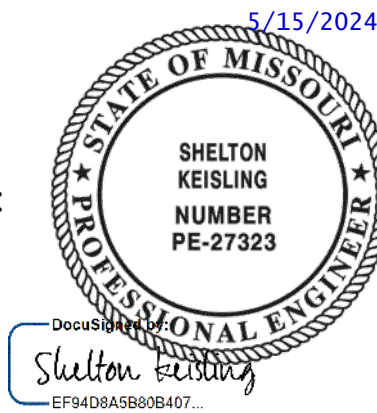
SITE NAME:
STLC CHF FS 03SC

MDG LOCATION #:
5000889198

FILE NAME:
STLC CHF FS 03SC - Rev 2 - 042424

SITE ADDRESS:
13703 OLIVE BLVD
CHESTERFIELD, MISSOURI

POLE DESCRIPTION:
31'-9" TALL 1'-2" DIAMETER WOOD UTILITY POLE SMALL CELL



ENGINEERING LICENSE			
STATE OF MISSOURI			
STATE CERTIFICATE OF AUTHORIZATION # EF-2791			
ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	C
REJ ROBERT E. JENSEN	28974	CIVIL	C
SDK SHELTON D. KEISLING	E-27323	ELECTRICAL	E
TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	E

PLANS PREPARED FOR:

PLANS PREPARED BY:

7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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ISSUED FOR REVIEW	DESCRIPTION	DATE	BY	REV
ISSUED FOR REVIEW		01/20/22	CZW	A
REISSUED FOR REVIEW		10/13/22	CJO	B
REISSUED FOR REVIEW		10/18/23	ABT	C
ISSUED FOR CONSTRUCTION		12/18/23	DSL	0
REISSUED PER CLIENT COMMENTS		03/14/24	ABT	1
REVISED PER POWER COORD		04/24/24	DSL	2

SITE INFORMATION

1A INFORMATION:
LAT(NAD83): 38° 40' 50.52" N
LONG(NAD83): 90° 30' 19.55" W

E911:
13703 OLIVE BLVD
CHESTERFIELD, MO
COUNTY: ST. LOUIS

EQUIPMENT & POWER INFO:
SERVICE ADDRESS: 13703 OLIVE BLVD
CHESTERFIELD, MO 63017
TRANSFORMER #: TBD
POWER PROVIDER: AMEREN
VOLTAGE: TO MATCH EXISTING
FIXTURE WATTAGE: TO MATCH EXISTING



APPLICABLE CODES

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- INTERNATIONAL BUILDING CODE
- INTERNATIONAL MECHANICAL CODE
- ANSI/TIA-222 STRUCTURAL STANDARD
- NFPA 780 - LIGHTNING PROTECTION CODE
- UNIFORM PLUMBING CODE
- NATIONAL ELECTRICAL CODE
- NATIONAL ELECTRIC SAFETY CODE (NEC)
- AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS (AASHTO), STANDARD SPECIFICATION FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS, 6TH EDITION
- AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND ANY SUPPLEMENT CHANGES.
- AMERICAN WITH DISABILITIES ACT (ADA) OF 1990.
- AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI), A117.1 ACCESSIBLE AND USABLE BUILDING AND FACILITIES STANDARD
- OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) OF 1970
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 70E, STANDARD FOR ELECTRICAL SAFETY IN THE WORKPLACE (LATEST EDITION)

DRAWING INDEX

SHEET NO	SHEET TITLE	ENGINEER
T-1	TITLE SHEET	C/E
GN-1.0	GENERAL NOTES (1 OF 2)	C/E
GN-1.1	GENERAL NOTES (2 OF 2)	C/E
-	SURVEY (BY OTHERS)	
A-1.0	SITE PLAN	C
A-2.0	POLE ELEVATION	C
A-3.0	EQUIPMENT DETAILS (1 OF 2)	C
A-3.1	EQUIPMENT DETAILS (2 OF 2)	C
A-4.0	CABLE DIAGRAM & DETAILS	C
A-5.0	FOUNDATION DETAILS	C
TCP	TRAFFIC CONTROL PLAN	C
E-1.0	ELECTRICAL DETAILS	E
G-1.0	GROUNDING RISER DIAGRAM	E

CONSULTING TEAM

ENGINEER:
SSC, INC.
7171 WEST 95TH STREET, SUITE 600
OVERLAND PARK, KANSAS 66212
PHONE: (913) 438-7700
FAX: (913) 438-7777

LESSOR:
VERIZON WIRELESS
10740 NALL AVE SUITE 400
OVERLAND PARK, KANSAS 66211
PHONE: (913) 438-7700
FAX: (913) 438-7777

JURISDICTION:
CITY OF CHESTERFIELD,
690 CHESTERFIELD PKWY W
CHESTERFIELD, MISSOURI 63017



DRAWING NOTICE

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

THESE SITE PLANS ADHERE TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION PLANNING AND ZONING FOR ANTENNAS AND SUPPORT STRUCTURES WHERE SITE IS LOCATED

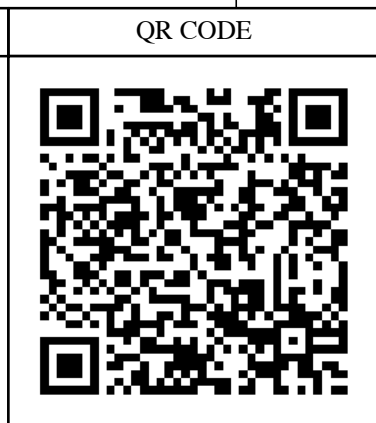
CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS / CONDITIONS ON SITE, IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

ALL TELECOM WORK TO BE COMPLETED BY CONTRACTOR EXPERIENCED WITH VERIZON. INSTALLATION AND CLOSEOUT PROCEDURES.

PROJECT DESCRIPTION

VZW CONTRACTOR:

- FURNISH AND INSTALL NEW POLE WITHIN AN EXISTING RIGHT-OF-WAY.
- INSTALL TELECOM EQUIPMENT ON NEW POLE
- INSTALL TELECOM ANTENNA ON NEW POLE INSTALL NEW POWER SERVICE
- INSTALL NEW VZW DARK FIBER SERVICE

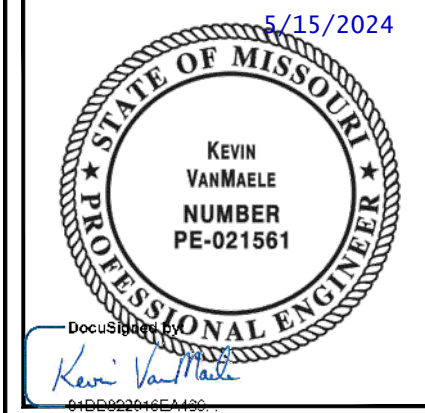
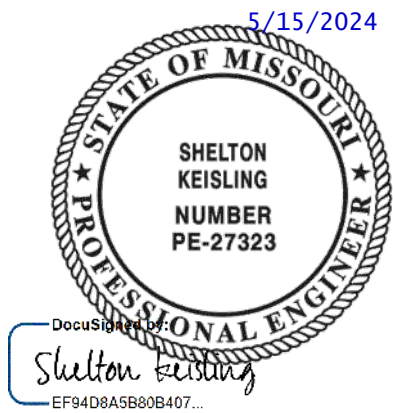


SITE NAME:
STLC CHF FS 03SC

MDG LOCATION #:
5000889198

SITE ADDRESS:
13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION: TITLE SHEET	SHEET #: T-1
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GENERAL NOTES:

- A. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENT AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
- B. IMPORTANT NOTICE: CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-344-7233, THREE DAYS BEFORE YOU DIG. THE CONTRACTOR SHALL OBTAIN LOCATES FOR STREETLIGHTING, TRAFFIC SIGNAL AND FIBER OPTIC CONDUITS/CABLES.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POT HOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN A 1' MINIMUM VERTICAL CLEARANCE.
- D. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND PER THE APPROVED PLANS.
- E. CONTRACTOR SHALL REPLACE OR REPAIR ALL CITY INFRASTRUCTURE DAMAGED DURING CONSTRUCTION.
- F. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
- G. MANHOLES OR COVERS SHALL BE LABELED SSC, EXCEPT FOR MANHOLES OR COVERS PLACED ON BEHALF OF THE MUNICIPALITY FOR THEIR EQUIPMENT.
- H. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- I. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION

SPECIAL NOTES:

- A. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD SSC, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
- B. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS
- C. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCY'S FACILITIES AS SHOWN HERON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTORS SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLY FOR THE PROTECTION ALL UTILITY OF AGENCY FACILITIES WITHIN THE LIMITS OF WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
- D. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT, AT LEAST TWO TWO DAYS BEFORE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.
- E. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.
- F. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 36 INCHES TO THE FINISHED GRADE AT ALL TIMES.
- G. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTER AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER
- H. ALL A.C AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY STATE ENGINEERS
- I. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
- J. THE CONTRACTOR WILL BE RESPONSIBLY FOR THE PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THE SSC, THE CITY, COUNTY OR STATE IS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
- K. VAULTS, PEDESTALS, CONDUITS AN OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER, IN WRITING BEFORE INSTALLATION THEREOF. ANY EQUIPMENT OR MATERIALS PLACED ON BEHALF OF THE GOVERNING MUNICIPALITY (STREET LIGHT MATERIALS FOR EXAMPLE) WILL BE SAID MUNICIPALITY'S APPROVED MATERIALS LIST.
- L. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
- M. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISION IS NECESSARY BECAUSE OF LOCATION OF EXISTING UTILITIES.
- N. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE, WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO CONSTRUCTION, IF EXISTING LOCATION VARY SUBSTANTIALLY FROM THE PLANS. THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.

EROSION AND SEDIMENT CONTROL NOTES:

- TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
- A. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCC).
- B. FOR STORM DRAIN INLETS, PROVIDE AS GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM INLET AS INDICATED ON DETAILS.
- C. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES. THE CONTRACTOR SHALL ENSURE WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OF DIKES
- D. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLY FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- E. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL
- F. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- G. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- H. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OF RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- I. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE
- J. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE THE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- K. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL INCORPORATED HERON. ALL EROSION.SEDIMENT CONTROL FOR INTERIM CONDITION SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- L. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY
- M. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IMMINENT
- N. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

STAMP: 5/15/2024

STATE OF MISSOURI
 KEVIN VANMAELE
 NUMBER PE-021561
 PROFESSIONAL ENGINEER

DocuSign ID: 04DD923045E1426

ENGINEERING LICENSE: STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:
KMV KEVIN M. VANMAELE REJ ROBERT E. JENSEN	21561 28974	CIVIL CIVIL
SDK SHELTON D. KEISLING TMS TERRANCE M. SUPER	E-27323 E-18521	ELECTRICAL ELECTRICAL

PLANS PREPARED FOR:

PLANS PREPARED BY:

7171 West 95th Street, Suite 600
 Overland Park, Kansas 66212
 Phone: 913-438-7700
 Fax: 913-438-7777

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SUBMITTALS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR REVIEW	01/20/22	CZW	A
REISSUED FOR REVIEW	10/13/22	CJO	B
REISSUED FOR REVIEW	10/18/23	ABT	C
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REISSUED PER CLIENT COMMENTS	03/14/24	ABT	1
REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME:
STLC CHF FS 03SC

MDG LOCATION #:
5000889198

SITE ADDRESS:
**13703 OLIVE BLVD
 CHESTERFIELD, MISSOURI
 63017**

SHEET DESCRIPTION: GENERAL NOTES (1 OF 2)	SHEET #: GN-1.0
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ROW GROUND CONSTRUCTION NOTES:

- A. 120/240V OR 120/208V POWER REQUIRED FOR 1-PHASE, 3-WIRE SERVICE.
- B. GC TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES OR NON-USED VERTICALS OFF THE POLE
- C. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
- D. CALL DIG SAFE USA 72 HOURS PRIOR TO EXCAVATING AT (800) 344-7233.
- E. ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER
- F. ALL EQUIPMENT TO BE BONDED
- G. METERING CABINET REQUIRES 3' CLEARANCE AT DOOR OPENING.
- H. CAULK CABINET BASE AT PAD

STANDARD GROUNDING NOTES:

- A. GROUND TESTED AT 5 OHMS OR LESS
- B. 5/8" X 10'-0" ROD, EXOTHERMIC CONNECTION BELOW GRADE
- C. #6 WIRE. FOR GROUNDING AND BONDING
- D. WOOD MOLDING, STAPLED EVERY 3' AND AT EACH END
- E. GROUND RODS 3' FROM POLE.

STANDARD CONDUIT NOTES:

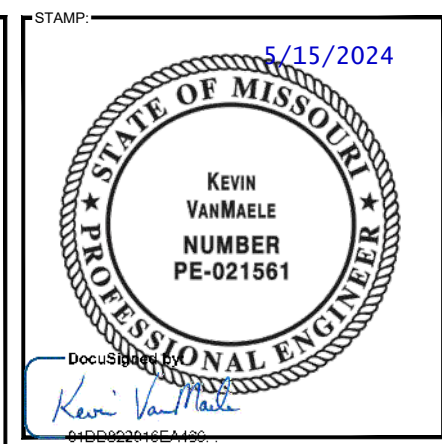
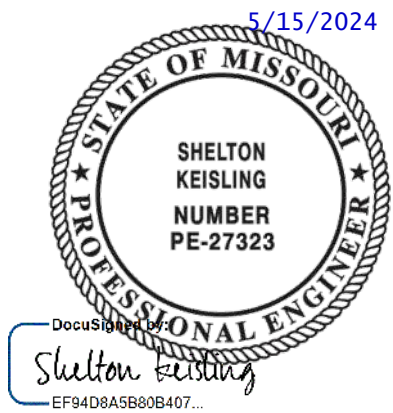
- A. FOR UNDERGROUND USE SCHEDULE 40 CONDUIT.
- B. FOR RISERS USE SCHEDULE 80 CONDUIT.
- C. PLACE 2" GALVANIZED STEEL CONDUIT FOR ANY CONDUIT UNDER 3".
- D. CONVERT 4" CARRIER CONDUIT TO 3" AT BASE OF POLE.
- E. GC TO STUB UP POLE 10' W/3" POWER CONDUIT, POWER CO. TO CONVERT FROM 3" SCH. 80 TO 2" SCH. 80 FROM TOP OF STUB UP.
- F. ALL CONDUIT SHALL BE MANDREL TESTED AND EQUIPPED WITH 3/8" PULL ROPE.

STANDARD CONDUIT NOTES:

- A. SAND BEDDING MINIMUM 1" UNDER CONDUITS, AND 6" SANDSHADING ON TOP REQUIRED.
- B. ALL TRENCHED ELECTRICAL SERVICE CONDUITS FROM POWER COMPANY, WHETHER FROM POLES, TRANSFORMERS, OR OTHER LOCATIONS; WILL BE SLURRY BACKFILLED
- C. IN STREET SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
- F. IN DIRT SLURRY 18" FROM GRADE, AND FILL WITH 95% COMPACTION NATIVE SOIL FOR BALANCE.
- G. PLACE WARNING TAPE IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE GROUND RING

ROW GROUND CONSTRUCTION NOTES:

- A. NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2".
- B. FILL ALL HOLES LEFT IN POLE FROM REARRANGEMENT OF CLIMB STEPS.
- C. ALL CLIMB STEPS NEXT TO CONDUITS SHALL HAVE EXTENDED STEPS.
- D. CABLE NOT TO IMPEDE 15" CLEAR SPACE OFF POLE FACE (12:00)
- E. 90° SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
- F. USE CABLE CLAMPS TO SECURE CABLE TO ARMS; PLACE 2" CARRIER CABLE ID TAGS ON BOTH SIDES OF ARMS.
- G. USE 90° CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
- H. PLACE GPS ANTENNA ON ARM WITH SOUTHERN SKY EXPOSURE AT MINIMUM 6' FROM TRANSMIT ANTENNA, WHICH IS 24" AWAY FROM CENTER OF POLE.
- I. USE 1/2" CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
- J. FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION



ENGINEERING LICENSE:
STATE OF MISSOURI
STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	C
REJ ROBERT E. JENSEN	28974	CIVIL	C
SDK SHELTON D. KEISLING	E-27323	ELECTRICAL	E
TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	E

PLANS PREPARED FOR:

PLANS PREPARED BY:

7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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REISSUED FOR REVIEW	10/13/22	CJO	B
REISSUED FOR REVIEW	10/18/23	ABT	C
ISSUED FOR CONSTRUCTION	12/18/23	DSL	0
REISSUED PER CLIENT COMMENTS	03/14/24	ABT	1
REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME:
STLC CHF FS 03SC

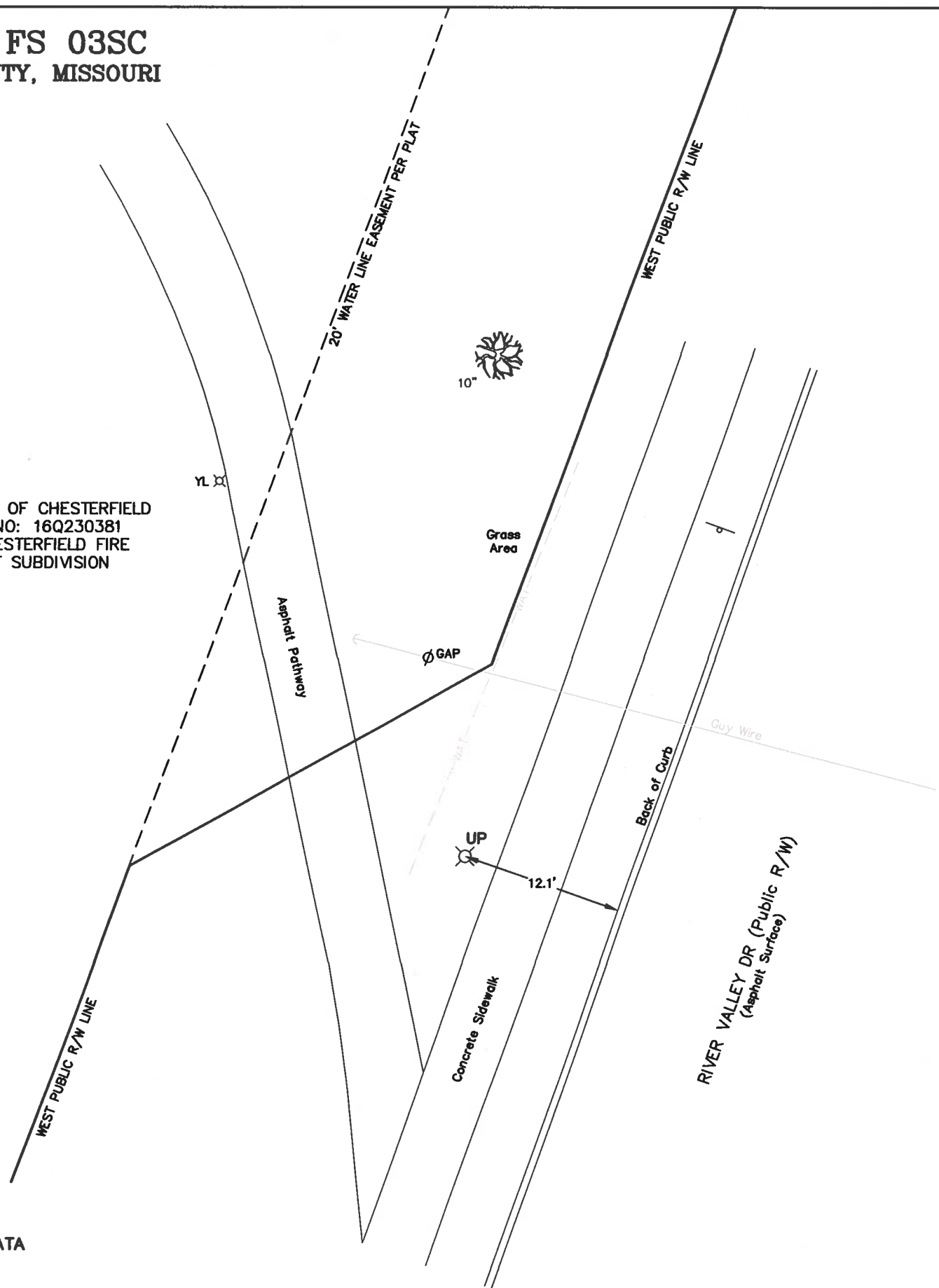
MDG LOCATION #:
5000889198

SITE ADDRESS:
13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION: GENERAL NOTES (2 OF 2)	SHEET #: GN-1.1
--	---------------------------

STLC CHF FS 03SC
ST. LOUIS COUNTY, MISSOURI

OWNER: CITY OF CHESTERFIELD
 PARCEL NO: 16Q230381
 Lot 2, CHESTERFIELD FIRE
 DISTRICT SUBDIVISION



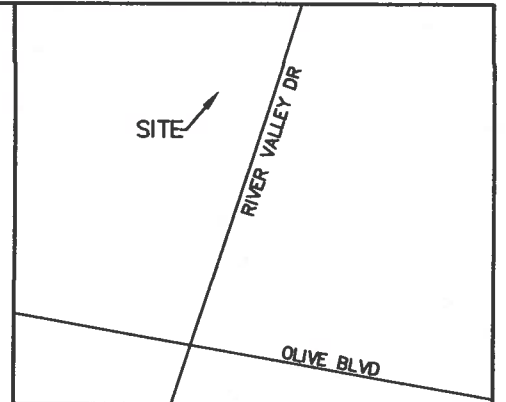
PROPOSED UTILITY POLE DATA
 Center of Utility Pole
 Lat 38°40'50.52" North
 Long 90°30'19.56" West
 Ground Elevation = 567.2ft

LEGEND


YARD LIGHT	⊗ YL
ANCHOR	⊙
SIGN	⊥
UTILITY POLE	⊗ UP
TREE (DIA.)	🌳
UNDERGROUND WATER LINE	--- WAT ---
GUY ANCHOR POLE	⊙ GAP



10-21-22: REVISED POLE PLACEMENT



PROVIDED FOR:



7171 W. 95th Street, Suite 600
 Overland Park, Kansas 66212
 Phone: 913-438-7700
 Fax: 913-438-7777



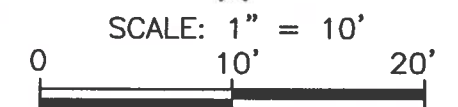

LOVELACE & ASSOCIATES
 Land Surveying - Land Planning
 Telecommunications Surveys
 929 SE 3rd Street Lee's Summit, Missouri 64063
 Phone: (816) 347-9997 Fax: (816) 347-9979

LA PROJECT NO.: 21073-20

DRAWN BY: A.C.T. CHECKED BY: J.B.L.

DATE: 12-16-21 FIELDWORK: 12-14-21

- NOTES:**
1. No subsurface investigation was performed to locate underground utilities.
 2. Vertical Datum=NAVD88 using GEOID12B.
 3. This survey does not represent a boundary survey.
 4. Utilities shown hereon are limited to and are per observed evidence only.
 5. An utility locate was requested under ticket #213353675 with Missouri One Call, the markings of said locate are shown hereon.

CALL BEFORE YOU
 DIG - DRILL - BLAST
 1-800-344-7483
 (TOLL FREE)
 MISSOURI ONE CALL SYSTEM, INC.

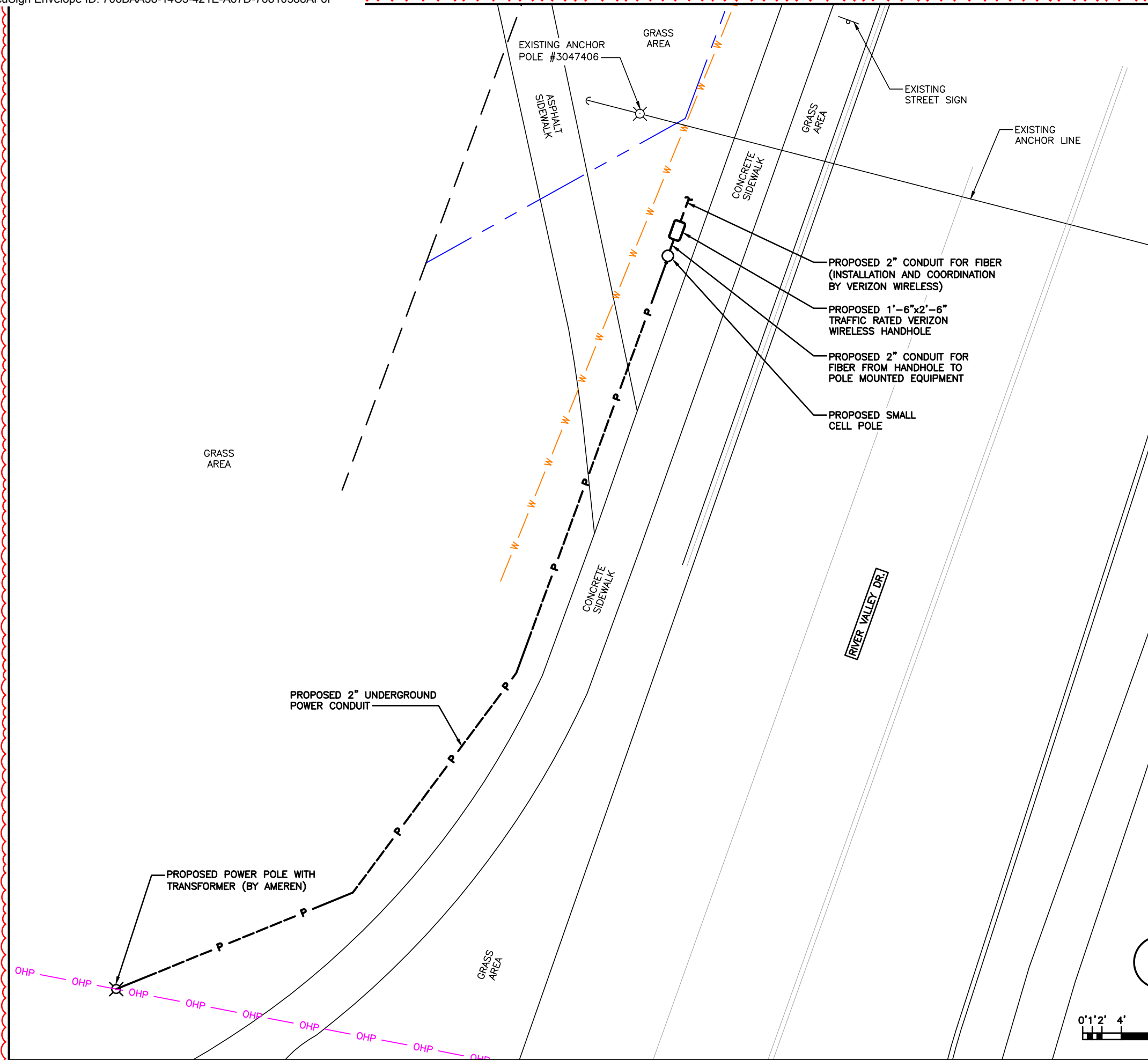


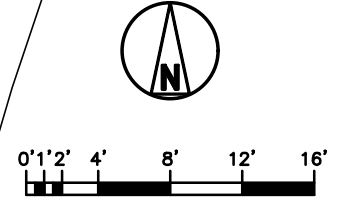
EXHIBIT PHOTO 1

LEGEND

EXISTING BUILDINGS	
EXISTING TREES	
EXISTING CURB	
PARKING/ROAD MARKINGS	
EXISTING ROW	

UTILITY SYMBOL LEGEND:

	TELCO CONDUIT
	UNDERGROUND TELCO CONDUIT
	POWER CONDUIT
	UNDERGROUND POWER CONDUIT



SITE PLAN 2

STAMP: 5/15/2024

DocuSign by: *Kevin VanMaele*

ENGINEERING LICENSE: STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:
KMV KEVIN M. VANMAELE 21561	21561	CIVIL
REJ ROBERT E. JENSEN 28974	28974	CIVIL
SDK SHELTON D. KEISLING E-27323	E-27323	ELECTRICAL
TMS TERRANCE M. SUPER E-18521	E-18521	ELECTRICAL

PLANS PREPARED FOR:



PLANS PREPARED BY:

7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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REISSUED FOR REVIEW	10/18/23	ABT	C
ISSUED FOR CONSTRUCTION	12/18/23	DSL	0
REISSUED PER CLIENT COMMENTS	03/14/24	ABT	1
REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME: STLC CHF FS 03SC

MDG LOCATION #: 5000889198

SITE ADDRESS: 13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION: SITE PLAN	SHEET #: A-1.0
------------------------------	----------------

LIGHTING NOTE:

THERE WILL BE NO LIGHT FIXTURES INCLUDED WITH THE EQUIPMENT ON PROPOSED POLE.



YELLOW RF WARNING SIGN

CUBIC FOOTAGE SUMMARY			
QTY	DESCRIPTION	DIMENSIONS (HxWxD)	CU. FEET
1	AMPHENOL 2C2UT360X06F00s0	24"x14.6"ø	2.961
1	AMPHENOL CWT-MKS-BASE	24"x17.19"ø	4.104
1	ERICSSON RRH BRKT	42.6"x13.5"x18"	5.599
1	ERICSSON RADIO 8843	18"x13.2"x11.3"	1.554
1	ERICSSON RADIO 4449	18"x13.2"x9.4"	1.293
2	ERICSSON POWER ENCLOSURE	13.9"x4"x11.8"	(2)0.38
1	TWIN QUAD DIPLEXER	8.3"x3"x4.2"	0.061
1	AC DISCONNECT	21.65"x10.38"x4.38"	0.569

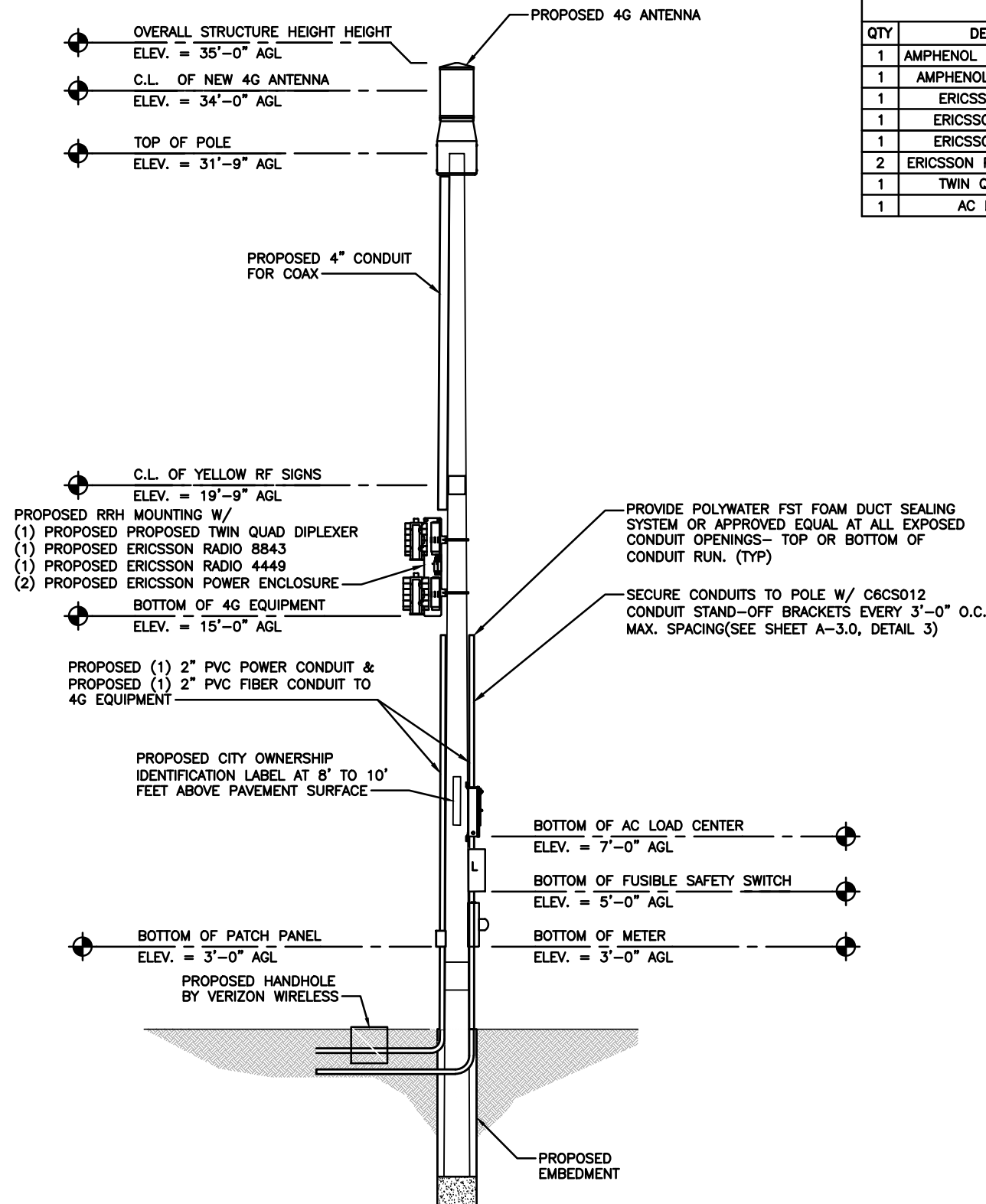
STRUCTURE INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURAL INTEGRITY OF SUPPORTING STRUCTURE, ANTENNA MOUNTS, AND FOUNDATION SHALL BE VERIFIED AS ACCEPTABLE BY ENGINEER CERTIFIED STRUCTURAL ANALYSIS, UTILIZING THE LOADING REPRESENTED WITHIN THESE DRAWINGS PRIOR TO THE EXECUTION OF EQUIPMENT CHANGES CONTAINED IN THESE DRAWINGS. CONTRACTOR SHALL OBTAIN ALL STRUCTURAL REPORTS AND FOLLOW ALL RECOMMENDATIONS.

EQUIPMENT NOTICE:

ALL EQUIPMENT MOUNTED ON PROPOSED POWER POLE SHALL MATCH EXISTING POLE FINISH.

NOTE:

PROVIDE 2" CONDUIT FROM VERIZON WIRELESS HANDHOLE TO POLE



PROPOSED POLE & EQUIPMENT ELEVATION

STAMP: 5/15/2024

DocuSign Envelope ID: [Signature]

ENGINEERING LICENSE: STATE OF MISSOURI
STATE CERTIFICATE OF AUTHORIZATION # EF-2791
ENGINEER: KEVIN M. VANMAELE PE# 21561 DISCIPLINE: CIVIL
REJ. ROBERT E. JENSEN 28974 CIVIL

SDK SHELTON D. KEISLING E-27323 ELECTRICAL
TMS TERRANCE M. SUPER E-18521 ELECTRICAL

PLANS PREPARED FOR:

PLANS PREPARED BY: SSC
7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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REISSUED PER CLIENT COMMENTS	03/14/24	ABT	1
REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME: STLC CHF FS 03SC

MDG LOCATION #: 5000889198

SITE ADDRESS: 13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION: POLE ELEVATION SHEET #: A-2.0

ANTENNA SUMMARY

Antenna	700	850	1900	AW5	AW53	Make	Model	Centerline	Tip Height	Azimuth	RET	4xRx	Inst. Type	Quantity	Item ID	
LTE	LTE	LTE	LTE	LTE	LTE	AMPHENOL	ZCUT360X06F0350-TO-0-2100-1443V1	37	38	010003	0103	False	False	PHYSICAL	1	

EQUIPMENT SUMMARY

Equipment Type	Location	700	850	1900	AW5	AW53	Make	Model	Cable Length	Cable Size	Install Type	Quantity	Item ID
Central Cables	Tower						1/2" coax	1/2" coax	40	1/2	PHYSICAL	8	
RRU	Tower	LTE	LTE				Ericsson	4449			PHYSICAL	1	KRCW0748/1
RRU	Tower		LTE	LTE	LTE		Ericsson	8843			PHYSICAL	1	KRCW0757/2
Diplexer	Tower						KAELOS	DBC-028FV1-1			PHYSICAL	1	

SERVICE INFO

AW53 LTE	Sector Azimuth Cell / ENode B ID Antenna Model	03 0 0 ZCUT360X06F0350-TO-0-2100-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 39.43 6811 5	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 108.18 Ericsson 8843 4.4 1178432 ATOLL_ARM	
700 MHz LTE	Sector Azimuth Cell / ENode B ID Antenna Model	03 0 0 ZCUT360X06F0350-TO-0-750-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 33.37 5730 10	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 30.34 Ericsson 4449 4.4 1178431 ATOLL_ARM	

850 MHz LTE	Sector Azimuth Cell / ENode B ID Antenna Model	03 0 0 ZCUT360X06F0350-TO-0-750-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 11.49 2460 10	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 30.34 Ericsson 4449 4.4 1178439 ATOLL_ARM	
850 MHz SWR	Sector Azimuth Cell / ENode B ID Antenna Model	0003 0 0 ZCUT360X06F0350-TO-0-750-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 11.49 2460 10	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 30.34 Ericsson 4449 4.4 1178439 ATOLL_ARM	

1900 MHz LTE	Sector Azimuth Cell / ENode B ID Antenna Model	03 0 0 ZCUT360X06F0350-TO-0-2100-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 39.43 1025 5	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 108.18 Ericsson 8843 4.4 1178083 ATOLL_ARM	
2100 MHz LTE	Sector Azimuth Cell / ENode B ID Antenna Model	03 0 0 ZCUT360X06F0350-TO-0-2100-1443V1	CAND
	Antenna Make Antenna Centerline (ft) Mechanical Down-Tilt (deg) Electrical Down-Tilt Tip Height Regulatory Power DLEARN/CH	AMPHENOL 37 0 0 38 9.06 2130 10	
	Channel Bandwidth (MHz) Total ERP (W) TMA Make TMA Model RRU Make RRU Model Number of Tx/Rx Lines Position Transmitter Id Source	10 108.18 Ericsson 8843 4.4 1178034 ATOLL_ARM	

STAMP: 5/15/2024

DocuSign by
Kevin VanMaele
04DD92045E1426

ENGINEERING LICENSE:
STATE OF MISSOURI
STATE CERTIFICATE OF AUTHORIZATION # EF-2791
ENGINEER: KEVIN M. VANMAELE 21561 CIVIL C
REJ ROBERT E. JENSEN 28974 CIVIL C
SDK SHELTON D. KEISLING E-27323 ELECTRICAL E
TMS TERRANCE M. SUPER E-18521 ELECTRICAL E

PLANS PREPARED FOR:
verizon

PLANS PREPARED BY:
 7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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SITE NAME:
STLC CHF FS 03SC

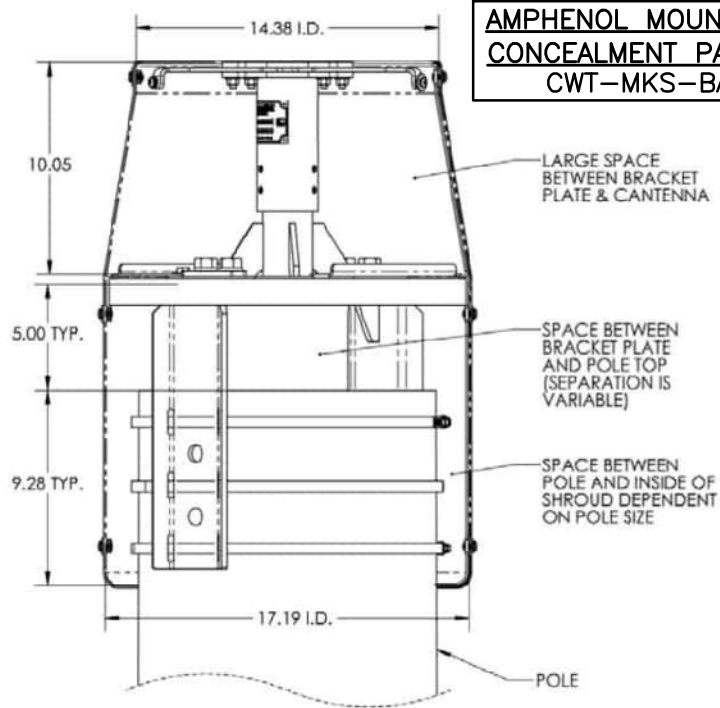
MDG LOCATION #:
5000889198

SITE ADDRESS:
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CHESTERFIELD, MISSOURI
63017

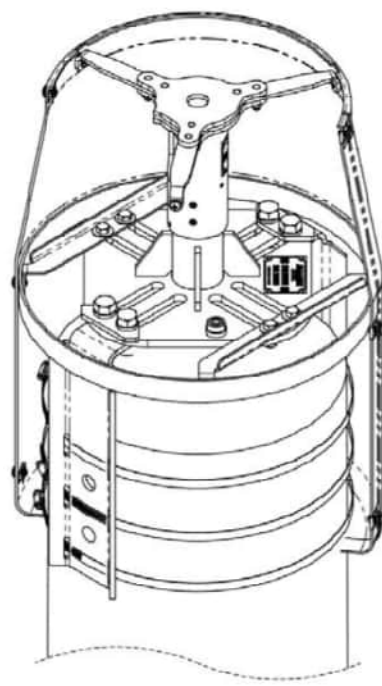
SHEET DESCRIPTION: EQUIPMENT DETAILS (1 OF 2)	SHEET #: A-3.0
--	--------------------------

GC TO PROVIDE ANTENNA BRACKETS AND MOUNTING HARDWARE

ANTENNA MOUNT INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FINAL MOUNT & ATTACHMENT CONFIGURATION TO BE APPROVED BY ENGINEER.



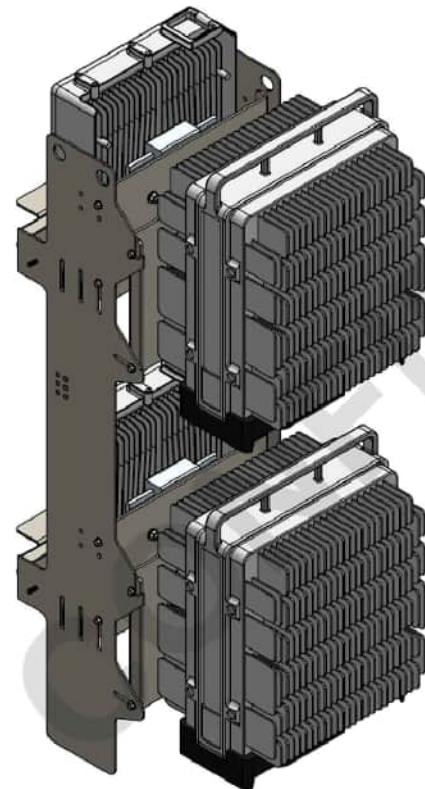
AMPHENOL MOUNT AND CONCEALMENT PART #: CWT-MKS-BASE



OMNI ANTENNA MOUNTING KIT

1

ERICSSON-RRH-BRKT
Pole/Wall Mount



Product Features:

- For use with Ericsson 8843 or 4449 and up to (2) of Ericsson Power 6302 Power Supplies
- Compact Size
- Diverse mounting applications; includes concrete lamp post, steel pole, wood pole applications, and wall mountable.
- Optional grounding locations
- Power supply mounting options with ability to adjust bracket for slight tilt
- Concealment Cover attachment (*cover not included in this kit*)
- Kit Includes: (2) Pole Brackets, (2) Power Supply Bracket, (2) Radio Brackets, (2) 5/8 x 16" Bolts, (4) V-Band Clamp, Grounding Jumper, and all associated hardware.
- Kit Allows for: Radiohead and Power Supply

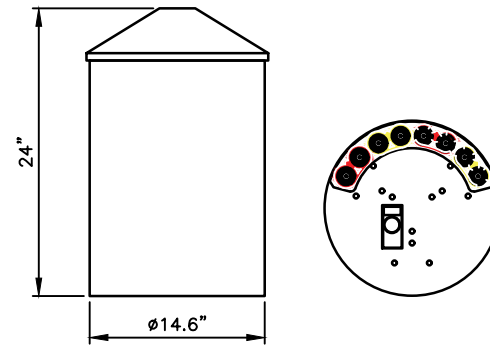
Product Specifications:

Model No: ERICSSON-RRH-BRKT

Dimension (W x H x D)	13.5 x 42.6 x 12.1 (inches)
Weight	36 lbs
Safety	500 lbs Vertical Load Rating
Environment	Galvanized, Weather Resistant
Cooling	Natural Cooling
Mount	Lamp post, pole or wall mountable
Construction	Aluminum/ Steel
Finish	Outdoor Powder Coating/ Natural Color

ERICSSON-RRH-BRKT DETAIL

8

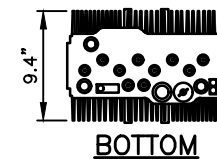
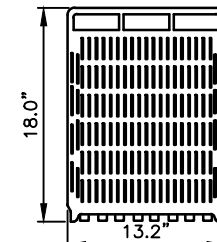


SPECIFICATIONS:

VENDOR: AMPHENOL
MODEL#: 2C2UT360X06FxyS0
DIMENSIONS (LxD): 24" x ø14.6"
WEIGHT: 23 LBS

4G OMNI ANTENNA DETAIL

2

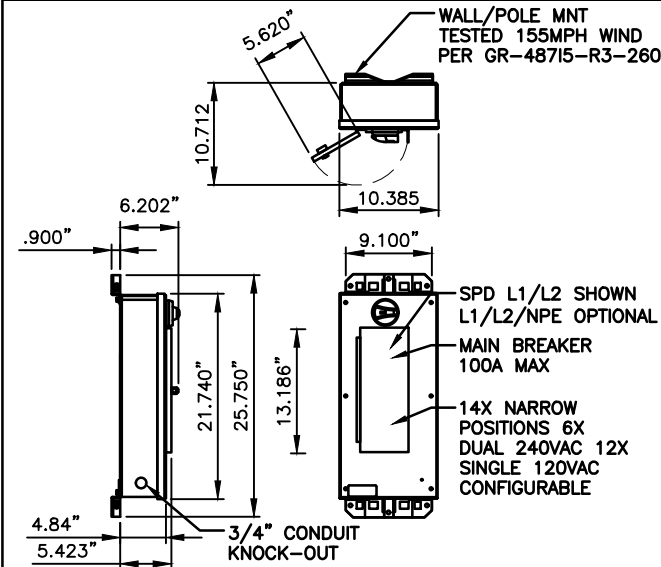


SPECIFICATIONS:

VENDOR: ERICSSON
MODEL#: 4449
DIMENSIONS (HxWxD): 18.0" x 13.2" x 9.4"
WEIGHT: 70 LBS

ERICSSON 4449 RRU DETAIL

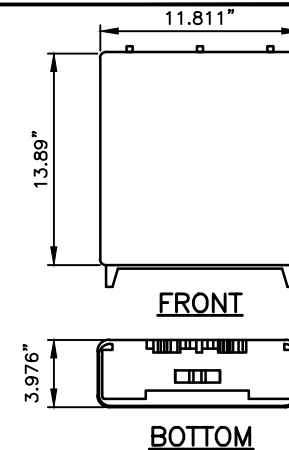
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PTS91536 AC DISCONNECT SWITCH

AC DISCONNECT SWITCH DETAIL

8

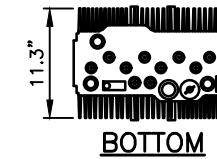
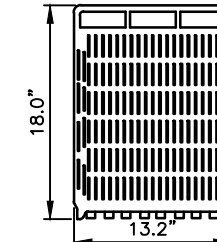


SPECIFICATIONS:

VENDOR: ERICSSON
MODEL#: 6302
DIMENSIONS (HxWxD): 13.89" x 11.81" x 3.976"
WEIGHT: 19.84 LBS

ERICSSON 6302 RRU DETAIL

3

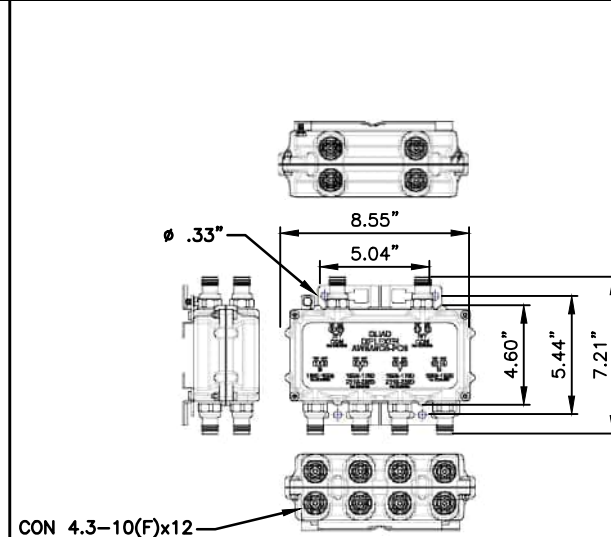


SPECIFICATIONS:

VENDOR: ERICSSON
MODEL#: 8843
DIMENSIONS (HxWxD): 18.0" x 13.2" x 11.3"
WEIGHT: 75 LBS

ERICSSON 8843 RRU DETAIL

5



DBC0129F1V1-1 QUAD DIPLEXER

6

STAMP: 5/15/2024

KEVIN VANMAELE
NUMBER PE-021561
PROFESSIONAL ENGINEER

ENGINEERING LICENSE: STATE OF MISSOURI
STATE CERTIFICATE OF AUTHORIZATION # EF-2791
ENGINEER: KEVIN M. VANMAELE PE# 21561 DISCIPLINE: CIVIL
REJ ROBERT E. JENSEN 28974 CIVIL
SDK SHELTON D. KEISLING E-27323 ELECTRICAL
TMS TERRANCE M. SUPER E-18521 ELECTRICAL

PLANS PREPARED FOR:



PLANS PREPARED BY:

SSC 7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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SITE NAME:

STLC CHF FS 03SC

MDG LOCATION #:

5000889198

SITE ADDRESS:

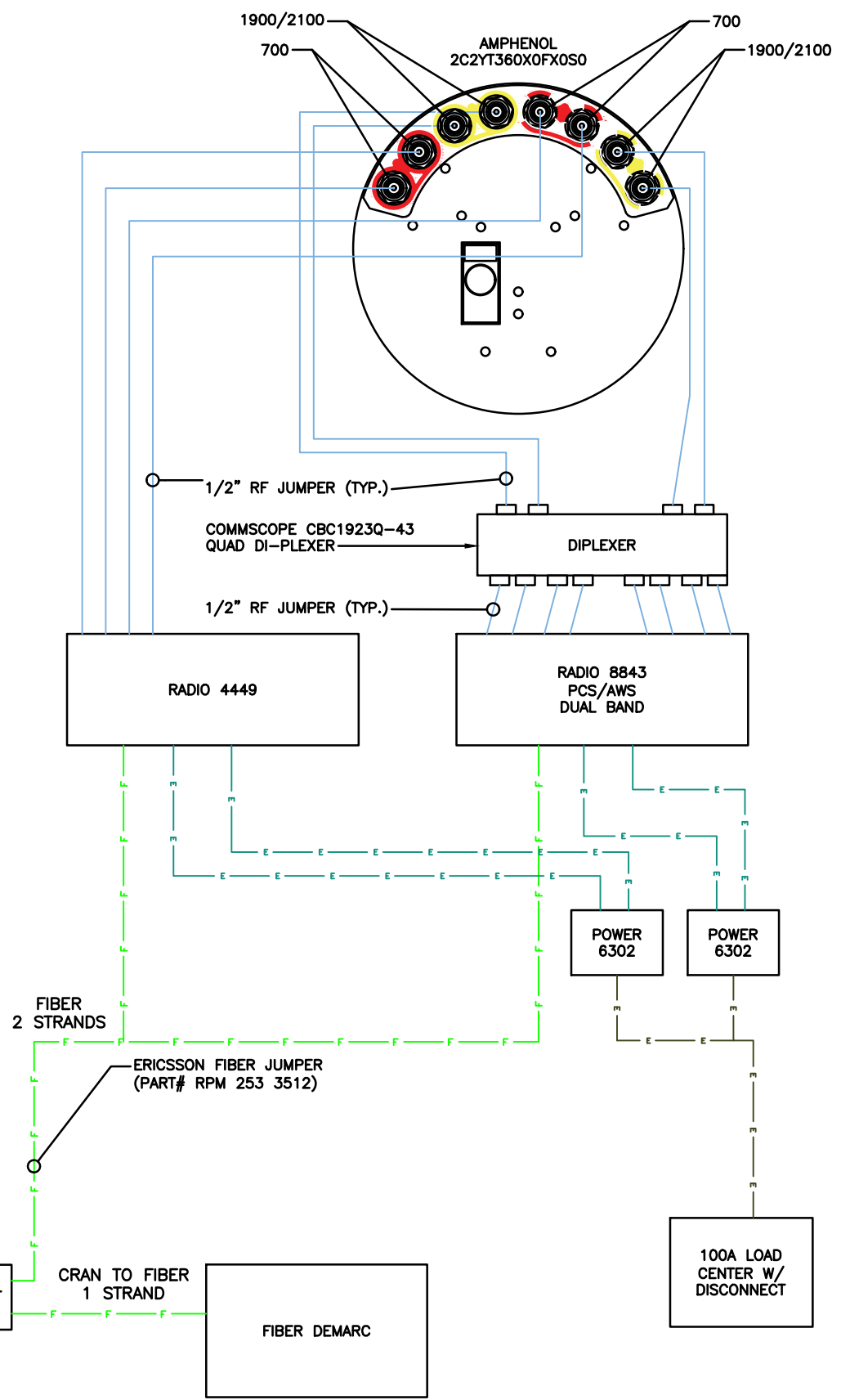
13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION:

EQUIPMENT DETAILS (2 OF 2)

SHEET #:

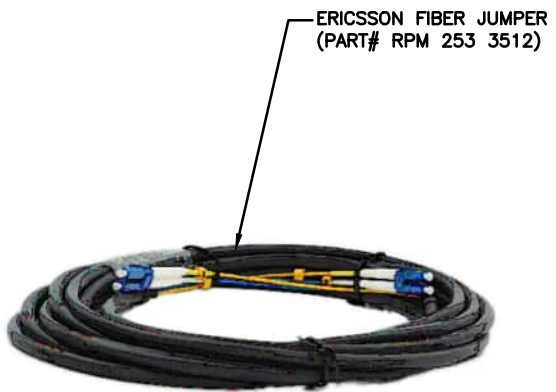
A-3.1



CORNING FIBER PATCH PANNEL

2

NOTE:
LESSEE EQUIPMENT ENGINEER TO SPECIFY & ORDER FIBER JUMPERS



ERICSSON FIBER JUMPER

5

DETAIL NOT USED

3

NOTE:
LESSEE EQUIPMENT ENGINEER TO SPECIFY & ORDER FIBER DROP CABLE



CORNING VERTICAL CABLE ASSEMBLY, NON-STUBBED

4

CABLE DIAGRAM

1

STAMP: 5/15/2024

KEVIN VANMAELE
NUMBER PE-021561
PROFESSIONAL ENGINEER

DocuSign Envelope ID: 706BAA38-14C3-421E-A67D-76810588AF6F

KEVIN VANMAELE

ENGINEERING LICENSE: STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	CC
REJ ROBERT E. JENSEN	28974	CIVIL	CC
SDK SHELTON D. KEISLING	E-27323	ELECTRICAL	ME
TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	ME

PLANS PREPARED FOR:



PLANS PREPARED BY:

7171 West 95th Street, Suite 600
Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

DRAWING NOTICE:
THIS DRAWING HAS NOT BEEN PUBLISHED AND IS THE SOLE PROPERTY OF SSC, INC. AND IS LENT TO THE BORROWER FOR THEIR CONFIDENTIAL USE ONLY, AND IN CONSIDERATION OF THE LOAN OF THIS DRAWING, THE BORROWER PROMISES AND AGREES TO RETURN IT UPON REQUEST AND AGREES THAT IT WILL NOT BE REPRODUCED, COPIED, LENT OR OTHERWISE DISPOSED OF DIRECTLY OR INDIRECTLY, NOR USED FOR ANY PURPOSE OTHER THAN FOR WHICH IT IS FURNISHED.

SUBMITTALS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR REVIEW	01/20/22	CZW	A
REISSUED FOR REVIEW	10/13/22	CJO	B
REISSUED FOR REVIEW	10/18/23	ABT	C
ISSUED FOR CONSTRUCTION	12/18/23	DSL	0
REISSUED PER CLIENT COMMENTS	03/14/24	ABT	1
REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME:

STLC CHF FS 03SC

MDG LOCATION #:

5000889198

SITE ADDRESS:

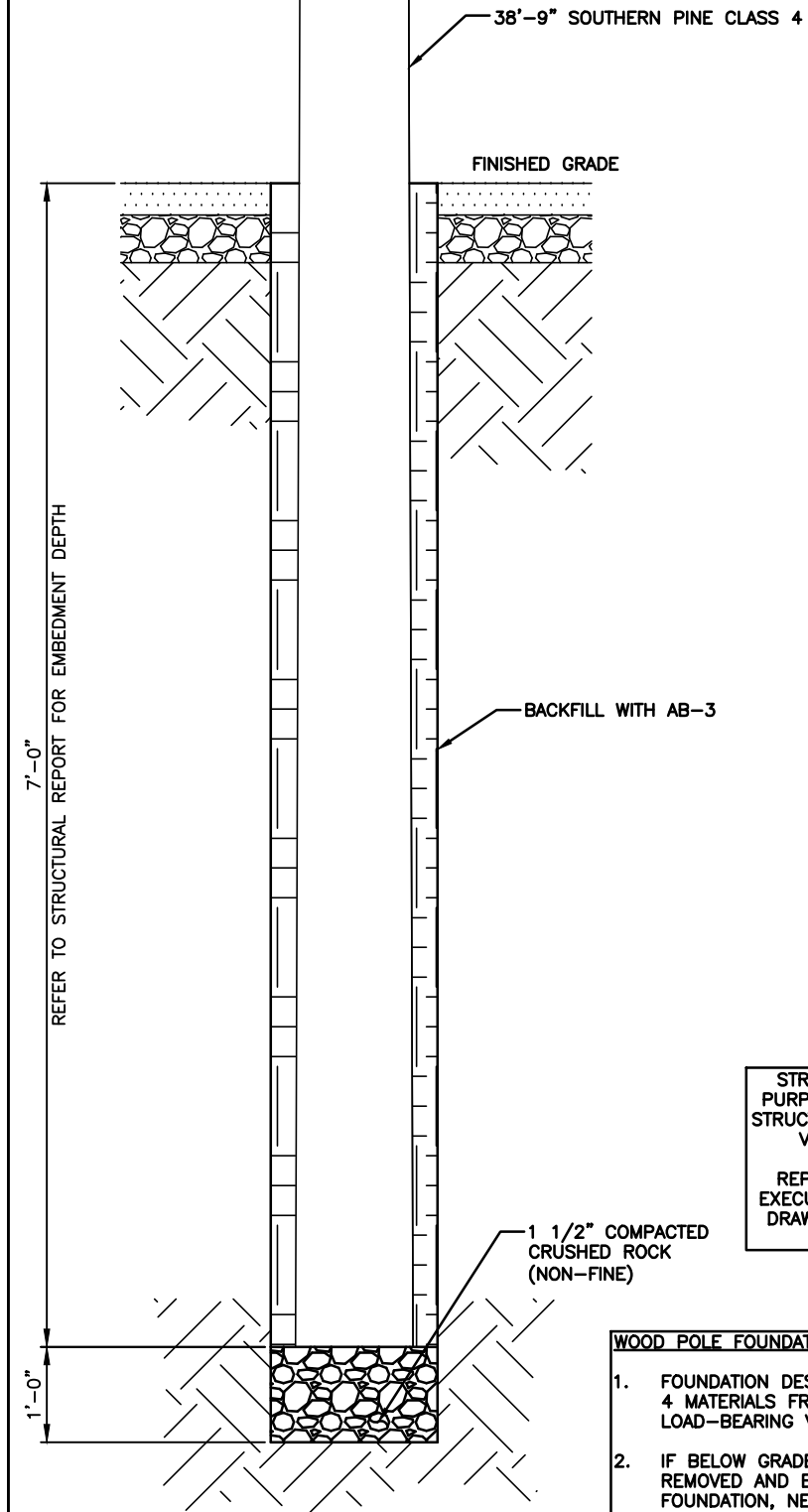
13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION:

CABLE DIAGRAM & DETAILS

SHEET #:

A-4.0



COMPACTION NOTES:

1. AB-3 AGGREGATE SHALL HAVE A MOISTURE CONTENT AT A MINIMUM OF 7%
2. CONTRACTOR SHALL ACHIEVE A 95% STANDARD PROCTOR COMPACTION RATING
3. COMPACTED AT 6" LIFTS USING A COMPACTION RAMMER AS REQUIRED

STRUCTURE INFORMATION IS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURAL INTEGRITY OF SUPPORTING STRUCTURE, ANTENNA MOUNTS, AND FOUNDATION SHALL BE VERIFIED AS ACCEPTABLE BY ENGINEER CERTIFIED STRUCTURAL ANALYSIS, UTILIZING THE LOADING REPRESENTED WITHIN THESE DRAWINGS PRIOR TO THE EXECUTION OF EQUIPMENT CHANGES CONTAINED IN THESE DRAWINGS. CONTRACTOR SHALL OBTAIN ALL STRUCTURAL REPORTS AND FOLLOW ALL RECOMMENDATIONS.

WOOD POLE FOUNDATION NOTES:

1. FOUNDATION DESIGN IS BASED ON GEOTECHNICAL VALUES FOR CLASS 4 MATERIALS FROM IBC 2012 TABLE 1806.2 PRESUMPTIVE LOAD-BEARING VALUES.
2. IF BELOW GRADE PORTION OF DECOMMISSIONED WOOD POLE IS REMOVED AND EXISTING HOLE IS NOT UTILIZED FOR NEW POLE FOUNDATION, NEW POLE FOUNDATION SHALL BE INSTALLED A MINIMUM DISTANCE OF 6' EDGE TO EDGE FROM DECOMMISSIONED POLE FOUNDATION HOLE. IF BELOW GRADE PORTION OF DECOMMISSIONED POLE IS NOT REMOVED, NEW POLE FOUNDATION SHALL BE INSTALLED A MINIMUM DISTANCE OF 3' EDGE TO EDGE FROM DECOMMISSIONED POLE FOUNDATION.
3. WOOD POLE/CONCRETE FOUNDATION SHALL BE INSTALLED AGAINST UNDISTURBED SOIL.

STAMP: 5/15/2024

DocuSign by
Kevin VanMaele

ENGINEERING LICENSE:

STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	CC
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TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	

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MDG LOCATION #:

5000889198

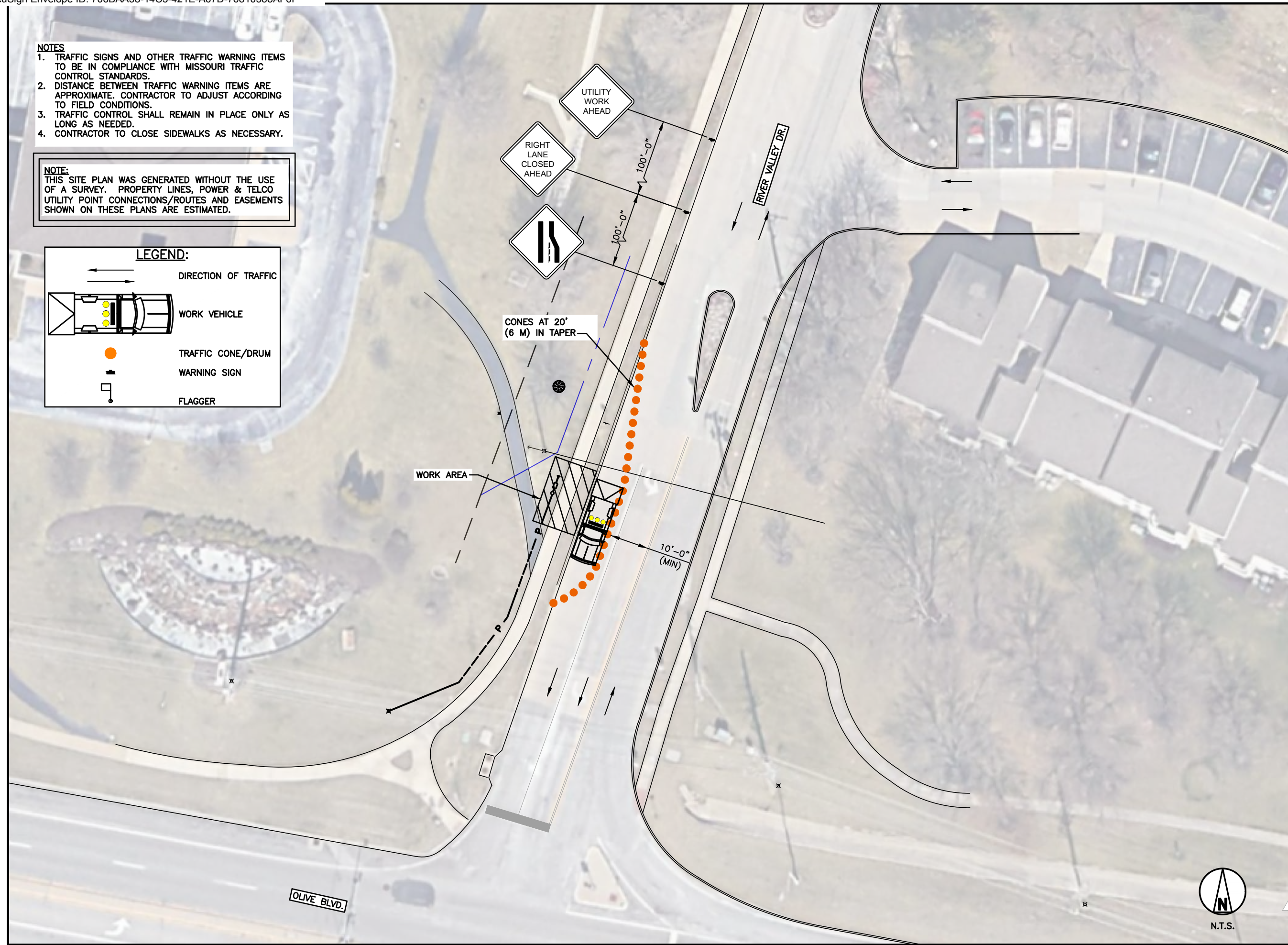
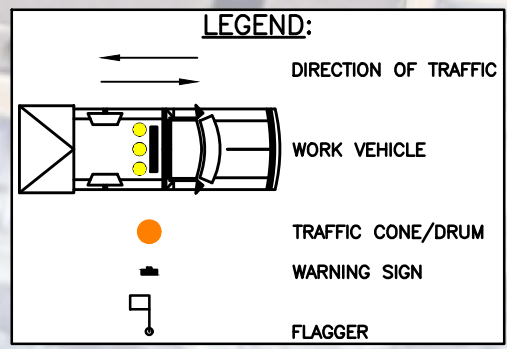
SITE ADDRESS:

13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION:	SHEET #:
FOUNDATION DETAILS	A-5.0

- NOTES**
1. TRAFFIC SIGNS AND OTHER TRAFFIC WARNING ITEMS TO BE IN COMPLIANCE WITH MISSOURI TRAFFIC CONTROL STANDARDS.
 2. DISTANCE BETWEEN TRAFFIC WARNING ITEMS ARE APPROXIMATE. CONTRACTOR TO ADJUST ACCORDING TO FIELD CONDITIONS.
 3. TRAFFIC CONTROL SHALL REMAIN IN PLACE ONLY AS LONG AS NEEDED.
 4. CONTRACTOR TO CLOSE SIDEWALKS AS NECESSARY.

NOTE:
THIS SITE PLAN WAS GENERATED WITHOUT THE USE OF A SURVEY. PROPERTY LINES, POWER & TELCO UTILITY POINT CONNECTIONS/ROUTES AND EASEMENTS SHOWN ON THESE PLANS ARE ESTIMATED.



STAMP: 5/15/2024

DocuSign by
Kevin VanMaele

ENGINEERING LICENSE:

ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	CC
REJ ROBERT E. JENSEN	28974	CIVIL	
SDK SHELTON D. KEISLING	E-27323	ELECTRICAL	EE
TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	

PLANS PREPARED FOR:

PLANS PREPARED BY:

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Overland Park, Kansas 66212
Phone: 913-438-7700
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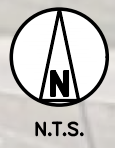
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REISSUED FOR REVIEW	10/13/22	CJO	B
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REVISED PER POWER COORD	04/24/24	DSL	2

SITE NAME:
STLC CHF FS 03SC

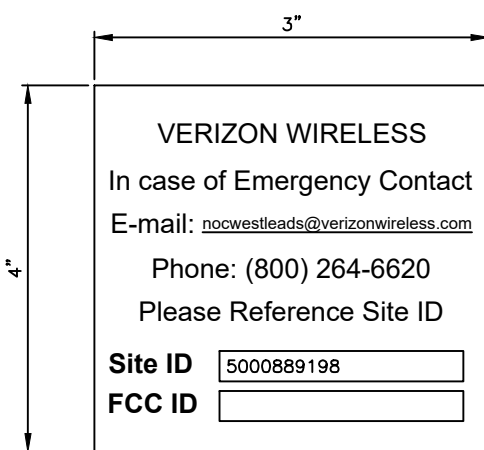
MDG LOCATION #:
5000889198

SITE ADDRESS:
**13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017**

SHEET DESCRIPTION: TRAFFIC CONTROL PLAN	SHEET #: TCP
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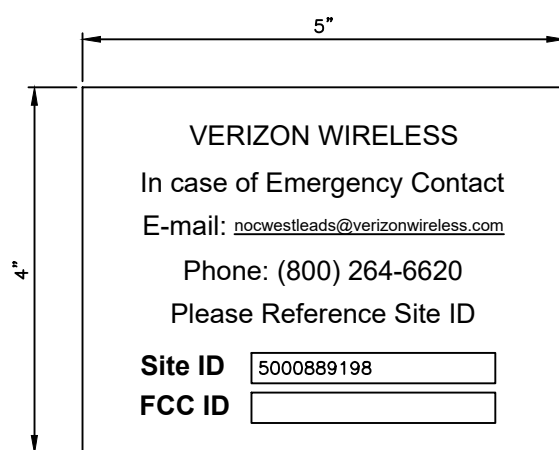


EMERGENCY LABEL ON POLE



NOTE:
TO BE INSTALLED AT BASE OF LIGHT POLE ON HANDHOLE COVER.

EMERGENCY LABEL ON METER



NOTE:
TO BE INSTALLED ON METER (INSTALL BELOW MAIN CIRCUIT BREAKER ACCESS PANEL)

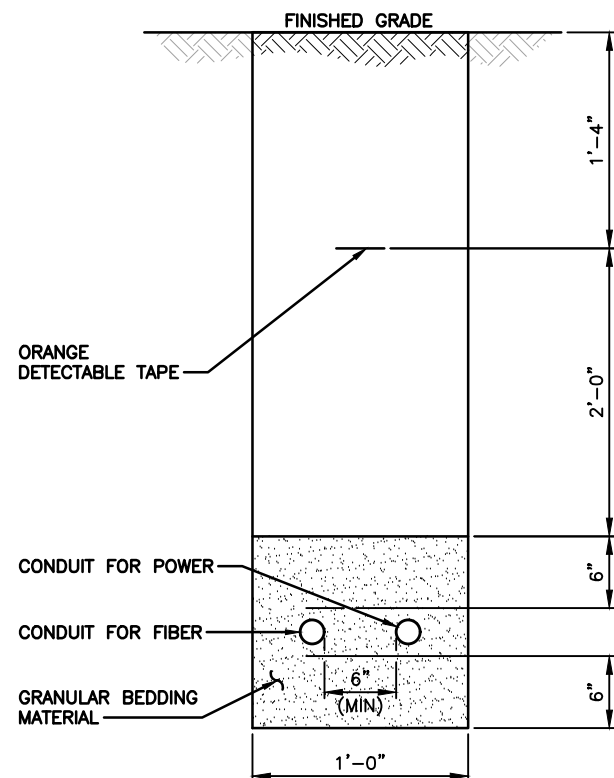
OWNER/OPERATOR NOTE:

EMERGENCY CONTACT LABEL AFFIXED AS NOTED ABOVE BY USING TZeS241 LABELING TAPE OR EQUIVALENT BLACK ON WHITE LABELING TAPE OF AT LEAST 18mm WIDTH WITH EXTRA-STRENGTH ADHESIVE. USE ANY COMPATIBLE P-TOUCH LABEL MAKER. TEXT SHOULD BE PRINTED IN ALL CAPS WITH A MINIMUM HEIGHT OF 1/2".

POLE OWNER SIGN DETAIL

NOTES:

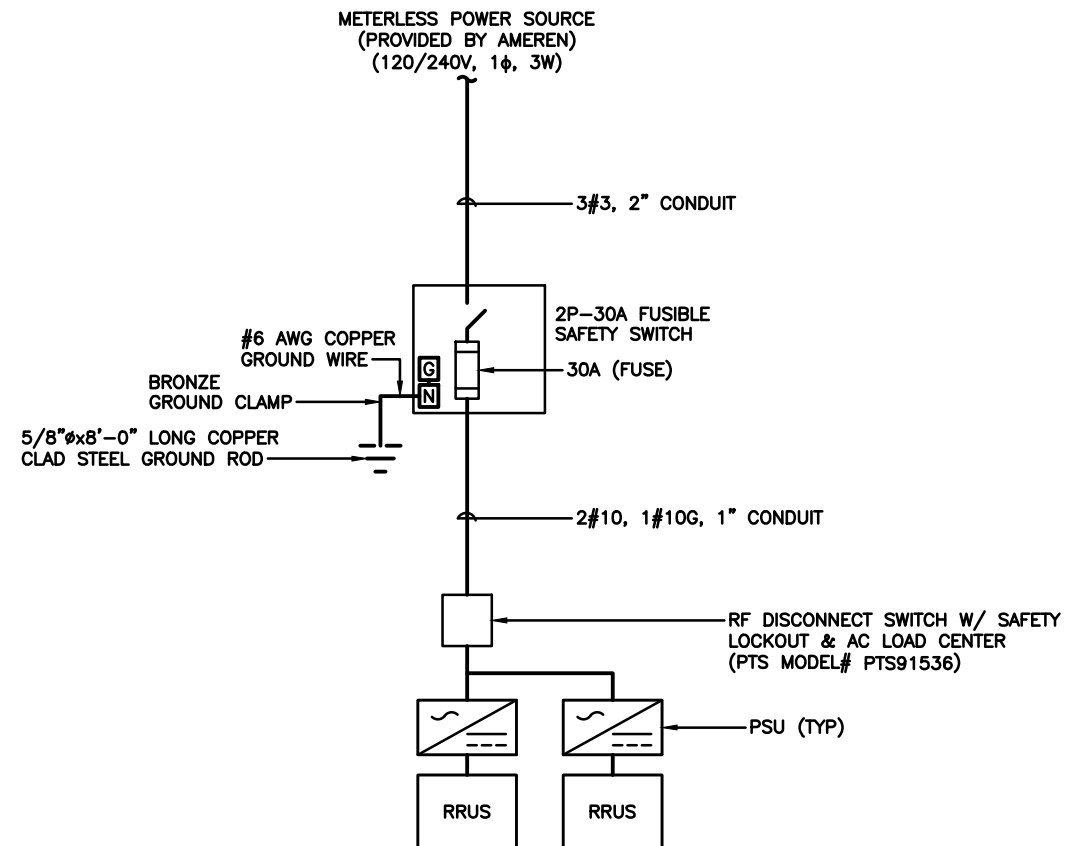
- SEE SHEET A-1.0 FOR SIZES, LENGTHS & QUANTITY OF UTILITIES.
- FIBER AND POWER CONDUITS MAY BE RUN IN SEPARATE TRENCHES. CONDUITS SHALL MAINTAIN 6" MINIMUM SEPARATION.



CONDUIT TRENCH DETAIL

NOTE:

POLE IS OWNED BY AMEREN. POWER TO BE PROVIDED BY AMEREN. NO METER NEEDED.



CIRCUIT ONE-LINE DIAGRAM

STAMP: 5/15/2024

DocuSigned by: Shelton Keisling

ENGINEERING LICENSE: STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:	
KMV KEVIN M. VANMAELE	21561	CIVIL	C
REJ ROBERT E. JENSEN	28974	CIVIL	C
SDK SHELTON D. KEISLING	E-27323	ELECTRICAL	EE
TMS TERRANCE M. SUPER	E-18521	ELECTRICAL	EE

DETAIL NOT USED

1

PLANS PREPARED FOR:



PLANS PREPARED BY:

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Overland Park, Kansas 66212
Phone: 913-438-7700
Fax: 913-438-7777

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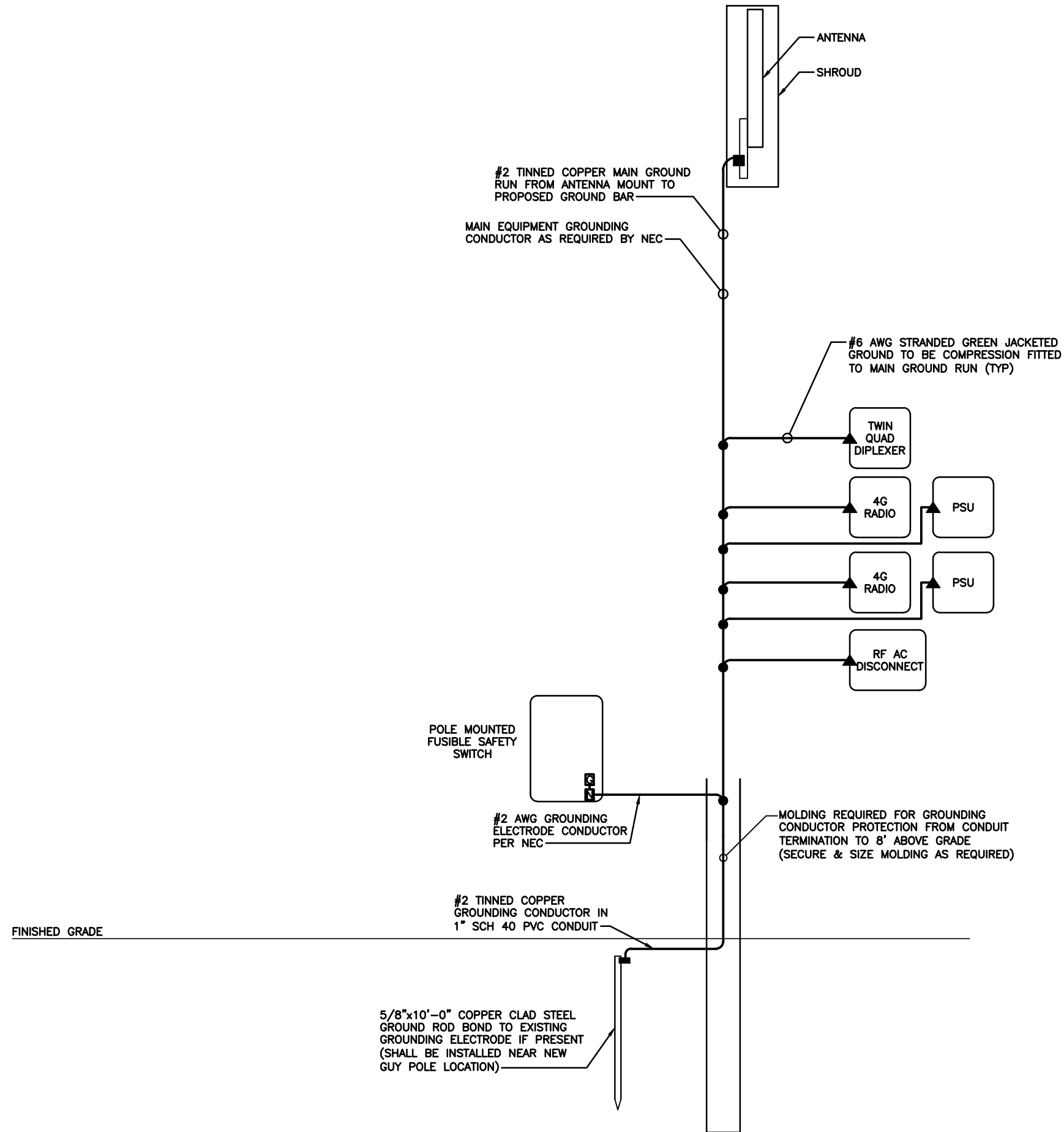
MDG LOCATION #:
5000889198

SITE ADDRESS:
**13703 OLIVE BLVD
CHESTERFIELD, MISSOURI
63017**

SHEET DESCRIPTION: ELECTRICAL DETAILS	SHEET #: E-1.0
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LEGEND:

- EXOTHERMIC CONNECTION
- MECHANICAL CONNECTION
- COMPRESSION CONNECTION



NOTE:
GROUNDING RISER FOR DIAGRAMMATIC PURPOSES ONLY. SEE ELEVATION DRAWING FOR EQUIPMENT AND ANTENNA LOCATIONS.

GROUNDING RISER DIAGRAM

STAMP: 5/15/2024

DocuSigned by:
Shelton Keisling

ENGINEERING LICENSE:
STATE OF MISSOURI

STATE CERTIFICATE OF AUTHORIZATION # EF-2791

ENGINEER:	PE#:	DISCIPLINE:
KMV KEVIN M. VANMAELE	21561	CIVIL
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PLANS PREPARED FOR:



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SITE NAME:
STLC CHF FS 03SC

MDG LOCATION #:
5000889198

SITE ADDRESS:
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CHESTERFIELD, MISSOURI
63017

SHEET DESCRIPTION:	SHEET #:
GROUNDING RISER DIAGRAM	G-1.0

FINANCE AND ADMINISTRATION COMMITTEE

Chair: Councilmember Barb McGuinness

Vice-Chair: Councilmember Michael Moore

- A. Insurance Damage Settlement:** The Finance and Administration Committee unanimously endorsed depositing the \$831,807 in net positive insurance revenue, and reserved to satisfy future insurance deductibles, repairs and or replacements where it is undesirable to file a claim. Managing the unspent insurance proceeds in this manner will fund insurance deductibles for a number of years, provide for reduced claim submissions, and result in more accurate and reduced annual budgets. **(Roll Call vote)**
- B. Repeal City Council Policy PDS No.1 – Chesterfield Historic and Landmark Preservation Committee:** The Finance and Administration Committee unanimously recommends the repeal of Planning Policy #1, which would effectively dissolve the CHLPC as a Citizen’s Advisory Committee. The Committee also unanimously endorsed passage of a proposed ordinance to transfer the regulatory responsibilities to the ARB. This proposed ordinance has been forwarded to the Planning Commission for action, as required by Missouri Statutes, and their recommendation will subsequently be forwarded to the PPW Committee and then City Council for action at a future meeting. **(Voice Vote)**
- C. Next Meeting – not yet scheduled**

There are no Finance and Administration Committee items scheduled for tonight’s meeting.

NEXT MEETING

The next Finance and Administration Committee Meeting has not yet been scheduled.

If you have any questions or require additional information, please contact Finance Director Jeannette Kelly or me prior to Monday’s meeting.

Mike Geisel
City Administrator



690 Chesterfield Pkwy W
Chesterfield MO 63017
Phone 636-537-4711
Fax 636-537-4798

TO: Finance and Administration Committee

Date: June 25, 2024

RE: Insurance damages, payout

As we have shared previously, a significant storm passed through the City on April 1st, 2024, and caused substantial hail damage to vehicles and additional damage to the membrane roof at City Hall, including internal water damage. We actively pursued insurance claims. We previously advised Council that the vehicle hail damage was valued at \$243,086. Our coverage provides a \$100,000 deductible for the fleet and we were issued a check from our carrier in the amount of \$143,086. Subsequently, on 5/31/2024, I advised Council regarding the settlement and shared that we had elected to repair only three of the damaged vehicles at an estimated cost of \$19,000 and we would deposit the remainder of the insurance payment into our Insurance Reimbursement Revenue Account.

Since that time, the insurer has completed their evaluation of our claim for damages to the City Hall roof. The total replacement value, less depreciation and our \$50,000 deductible, resulted in a net payout to the City of \$727,722. As previously stated, the storm damage to City Hall includes some interior drywall, ceiling, and ancillary water damage. We intend to repair this interior damage using in-house facility staff labor, with materials estimated at \$20,000.

As you are also aware, the adopted 2024 budget included \$330,000 in ARPA funds for the roof replacement. City Council approved the award and contract to W. James Taylor Incorporated during the June 3rd City Council meeting, in the amount of \$330,000. Inasmuch as the roof project is consuming ARPA funds, the use of which is both use restricted and time sensitive, I recommend that we continue to use the previously approved ARPA funds for the roof replacement contract.

The total insurance payout from our carrier for the April 1 storm event, for vehicle hail damage and the City Hall roof replacement, was \$870,807.80. Subtracting \$19,000 for vehicle repairs (as previously approved), and \$20,000 for the interior water damage repairs (by in-house labor) leaves \$831,807.80 net cash available.

We previously notified City Council, that the City's insurance deductibles will be significantly increased beginning with the July 1, 2024 renewal cycle. We have been

notified of such by our broker and our carriers have distributed the required notices. As an example, our current deductible for auto damage, is \$2,500 per vehicle occurrence. With the current renewal, that deductible will be increasing to \$20,000 per vehicle occurrence. Those increases are typical across our municipal property and casualty coverage. Typically, the City has budgeted a nominal value for insurance deductibles on an annual basis, with the knowledge and understanding that we have no way of predicting the number of incidents or the cumulative value of the deductibles to be paid. Obviously, this results in instances of over-budgeting, or under-budgeting in any given year. Those deductible payments are charged across the various coverages, liability, police liability, auto liability, official immunity, property and casualty, errors and omissions, cyber liability, and others. The increase in deductibles will most certainly alter our future management and operational decisions regarding repairs and whether insurance claims will be initiated for individual occurrences. In many instances, repairs could be deferred, and in other cases, replacement may be more viable than pursuing an insurance claim and related repair. The other impact is on our fleet maintenance budget. In those events where the value of the repair is less than the deductible and no insurance claim is pursued, fleet repairs are charged to our fleet maintenance budget. As you can imagine, multiple \$20,000 unplanned, unbudgeted repairs would be devastating to that particular budget.

Knowing that our deductibles are increasing significantly and the number of claims continues to be uncertain, it is the recommendation of our executive staff that the \$831,807.80 in net positive insurance revenue, be deposited and set aside to satisfy future insurance deductibles, repairs and or replacements where it is undesirable to file a claim due. Managing the unspent insurance proceeds in this manner will fund insurance deductibles for a number of years, provide for reduced claim submissions, and result in more accurate and reduced annual budgets.

I look forward to discussing this with the committee at our next meeting.

Payment Summary

Claim Ref #: 076924013318
Policy: 000035834209
Occurrence: 000077
Date of Loss: 04/01/2024
SSN#/TIN#: XXXXXXXXXXXX
Payee: CITY OF CHESTERFIELD

Page: 1 of 1
Check Number: 0007298991
Print Date: 06/12/2024
Issue Date: 06/11/2024

Insured: City of Chesterfield

DATE	CLAIMANT	DESCRIPTION	AMOUNT
		Building Damage	723,947.72
		Debris Removal	3,773.95

CHECK TOTAL: \$727,721.67

Comments:

Claim Representative: KRISTIN VO-AUSTIN

Phone: (913)304-4971

THE ORIGINAL DOCUMENT HAS A WHITE REFLECTIVE WATERMARK ON THE BACK. HOLD AT AN ANGLE TO VIEW. DO NOT CASH IF NOT PRESENT.

CHUBB® FEDERAL INSURANCE COMPANY
2155 W. PINNACLE PEAK ROAD
PHOENIX, AZ 85027

Claim Ref #: 076924013318
BANK OF AMERICA
ATLANTA, GA

Check Number 0007298991 64-1278
Date 06/12/2024 0611

PAY Seven Hundred And Twenty Seven Thousand Seven Hundred And Twenty One
Dollars And 67/100 ¢

\$727,721.67

TO THE ORDER OF CITY OF CHESTERFIELD

City of Chesterfield
690 Chesterfield Pkwy W
Attn: Finance
Chesterfield, MO 63017

CHUBB®
AUTHORIZED SIGNATURE
[Signature]
AUTHORIZED SIGNATURE

IN SETTLEMENT OF BUILDING DAMAGE, DEBRIS REMOVAL



Central Claim Service Center
One Progress Point Parkway
O'Fallon, MO 63368
O: (800) 252-4670
F: (800) 664-5358
E: USPropertyClaims@chubb.com

Mailing Address
P.O. Box 910
O'Fallon, MO 63366

June 03, 2024

City of Chesterfield
690 Chesterfield Parkway W
Chesterfield, MO 63017
Attention: Barry Johnson

Re: Insured: City of Chesterfield
Claim Number: 076924013318
Policy Number: 000035834209
Loss Location: Premise 1 – 690 Chesterfield Parkway W
Chesterfield, MO 63017
Date of Loss: April 01, 2024
Insurance Company: Federal Insurance Company

Dear Mr. Barry Johnson,

In reference to the captioned claim, you will soon be receiving a check in settlement of your covered loss, processed, and mailed to you separately from our office.

We acknowledge that on April 10, 2024, we received your claim for damage to your premise. We have confirmed that the damages you are pursuing are to premise:

- Premise #1 – 690 Chesterfield Parkway W., Chesterfield, MO 63017
- Hail damage to vehicles

Per our conversation, you will not be pursuing damages to the following premises:

- Premise #4: 17925 North Outer Forty Rd., Chesterfield, MO 63005
- Premise #5: 17891 N. Outer 40., Chesterfield, MO 63005

Our inspection also found no storm related damage to the following premises:

- Premise #2: 165 Public Works Dr., Chesterfield, MO 63017
- Premise #3: 16353 Lydia Hill Dr., Chesterfield, MO 63017
- Premise #6: 631 Veterans Place Dr., Chesterfield, MO 63017
- Premise #7: 1627 Old Baxter Rd., Chesterfield, MO 63017
- Premise #8: 17057 North Outer 40 Rd., Chesterfield, MO 63005
- Premise #9: 700 Chesterfield Pkwy W., Chesterfield, MO 63017
- Premise #10: 16032 Main Circle Dr., Chesterfield, MO 63017
- Premise #11: 17502 Edison Ave., Chesterfield, MO 63005
- Premise #12: 1851 Schoettler Rd., Chesterfield, MO 63017

Below is a breakdown of the payment based on the enclosed estimate and explains how we arrived at the settlement amount. Please provide a copy of this estimate to your contractor. Should there

be any discrepancy with your contractor, please have them contact me prior to any work beginning for consideration of additional items beyond the scope of this estimate.

Replacement Cost Value	\$1,070,997.37
Less Recoverable Depreciation	(50,189.57)
Actual Cash Value	\$1,020,807.80
Less Deductible	(150,000.00)
Less Prior Payment	(143,086.13)
Net Claim	\$727,721.67

The total payment for this claim will be in the amount of \$870,807.80 which is based upon the reconstruction cost less depreciation and less any applicable deductible as outlined above for Premise 1 and the auto vehicles damaged.

Your policy affords replacement cost coverage for the premises. Once the repairs have been completed, you or your repair provider can submit a certificate of completion with a final invoice, and a final check will be issued to you for the incurred loss up to the recoverable depreciation withheld. This is represented on your estimate as "Recoverable Depreciation" and is noted in the table above. The maximum recoverable depreciation payment allowed without prior approval is \$50,189.57. If the final cost of repairs is less than the estimated amount, you may only recover up to the actual amount spent to repair the damaged property less any applicable deductible. Your policy also requires that the repairs begin within 24 months from the date of loss or a later date if agreed to by us.

Please mail/fax the invoices/proof of completed work to the following address:

Kristin Vo-Austin
Mailing Address
P.O. Box 910
O'Fallon, MO 63366
(800) 664-5358 Fax
Kristin.vo-austin@chubb.com Email

We also wish to call your attention to the following additional coverage excerpts your *Customarq*, Building And Personal Property Contract, Form 80-02-1000 (Rev. 3-19), which states in relevant part the following:

Loss Payment Basis

The following Loss Payment Basis provisions apply.

Subject to the applicable Limit Of Insurance shown in the Declarations:

- A. covered property is valued on a replacement cost basis as described below, unless:

1. the Loss Payment Basis shown in the Declarations is Actual Cash Value; or
 2. otherwise stated under Loss Payment Basis Exceptions; and
- B. valuation also includes, for covered property, costs you incur as described below under Ordinance Or Law Or Green Standards, Construction *Fees*, Brands And Labels and Extended Warranties.

Our Loss Payment Options In the event of loss or damage covered by this insurance, at our option, **we will** either:

- pay the covered value of the lost or damaged covered property;
- pay the cost of repairing or replacing the lost or damaged covered property plus any reduction in value of the repaired item;
- take all or any part of the covered property at an agreed or appraised value; or
- repair or replace the covered property with other such property of comparable material and quality for the same use or occupancy.

Replacement Cost Basis

Lost or damaged covered property will be valued at the cost to repair or replace such property at the time of loss or damage, but not more than you actually spend to repair or replace such property at the same or another location for the same use or occupancy. There is no deduction for physical deterioration or depreciation.

If you replace the lost or damaged covered property, the valuation includes customs duties incurred.

If you do not repair or replace the covered property, we will only pay as provided under Actual Cash Value Basis.

If you commence the repair or replacement of the lost or damaged covered property within 24 months from the date of the loss or damage, we **will** pay you the difference between the actual cash value previously paid and the lesser of the:

- replacement cost at the time of loss or damage; or
- actual costs you incur to repair or replace.

Payment under the Replacement Cost Basis **will** not be made until the completion of the repairs or the replacement of the covered property.

Please compare our estimate to the estimates you may already have received or feel free to share our estimate with your contractor. If you or your contractor have questions regarding the scope or pricing of the work in our estimate, **please contact me before the work begins** so that we can resolve the issues in a timely manner. I can be reached at (913) 304-4971. If I can be of any further assistance, please call.

Sincerely,

Kristin Vo-Austin

Kristin Vo-Austin
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Federal Insurance Company
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CC: Risk-Strategies

CHUBB		Statement of Loss Summary Sheet		Writing Company	
Insured Name	City of Chesterfield			Federal Insurance Company	
Date of Loss	04/01/2024				
Location	Premise 1- 690 Chesterfield Parkway W, Chesterfield, MO 63017				
Policy Number	000035834209				
Claim Number	076924013318				
Date Created	06/03/2024				

Totals \$ 1,070,997.37 \$ (50,189.57) \$ 870,807.80 \$ (143,086.13) \$ 727,721.67

Coverage Line	Claimed Amount	Less Depreciation	Agreed Amount	Paid Amount	Current Payment	Comments
Premise 1 - 690 Chesterfield Parkway W	\$ 824,137.29	\$ (50,189.57)	\$ 723,947.72	\$ -	\$ 723,947.72	
Debris Removal	\$ 3,773.95	\$ -	\$ 3,773.95	\$ -	\$ 3,773.95	
Other Misc Building Coverage	\$ 243,086.13	\$ -	\$ 143,086.13	\$ (143,086.13)	\$ -	
Code Upgrade	\$ -	\$ -	\$ -	\$ -	\$ -	

Premise 1 - 690 Chesterfield Parkway W Details

Claimed Amount	Less Depreciation	Agreed Amount	Paid	Due	Vendor	Date Received	Date Paid	Comments
\$ 824,137.29	\$ (50,189.57)	\$ 723,947.72	\$ -	\$ 723,947.72				
\$ 827,911.24	\$ 50,189.57	\$ 777,721.67		\$ 777,721.67	JS Held LLC			Reconstruction estimate for Premise 1
\$ (3,773.95)		\$ (3,773.95)		\$ (3,773.95)	JS Held LLC			Moved to debris removal
		\$ (50,000.00)		\$ (50,000.00)				\$50,000 wind and hail deductible applies

Other Misc Building Coverage Details

\$ 243,086.13	\$ -	\$ 143,086.13	\$ (143,086.13)	\$ -				
Claimed Amount	Less Depreciation	Agreed Amount	Paid	Due	Vendor	Date Received	Date Paid	Comments
\$ 243,086.13		\$ 243,086.13	\$ 143,086.13	\$ 100,000.00	Chubb		05/17/2024	Hail damage to vehicles
		\$ (100,000.00)		\$ (100,000.00)				\$100,000 wind and hail deductible applies

CLAIM NO.: 076924013318 Reinspection <input type="checkbox"/>		INSURED
Policy No.: 000035834209	(City of Chesterfield)	
Date of Loss: 04/01/2024 2:00 AM	690 Chesterfield Pkwy W	
Type of Loss: Property	Chesterfield MO 63017-0760	
Deductible: <i>multiple</i>	Home phone:	
Year Built:	Business phone: (636) 537-4000	
Cat No.: 30	Mobile phone:	
Adjuster: Jeffery Crain	Bus. Fax:	
Phone: (314) 978-2453	Contact: Cathy Pagella (636) 537-4712	
Email: Jeffery.Crain@Chubb.com	Loss address:	
	17891 N Outer 40	
	Chesterfield MO 63005	

Status: Claim Opened **Age:** 63d 13h **Assignees:** Jeffery Crain + 4 others
Originated: 04/19/2024, 3:18 PM by Chubb Admin (CHUBB)

DATES	POLICY 000035834209			
Created: 04/19/2024 Assigned: 04/23/2024	Policy Type: Commercial			
Received: 04/23/2024 Contacted: 04/23/2024	Renewed: time(s)			
Inspected: 04/30/2024 Estimated: 06/03/2024	Effective from: 07/01/2023 to: 07/01/2024			
Approved:	Job Started:	Coverage	Limits	Deductible
Completed: 06/03/2024	Closed:	Building		
		Contents		
Overall risk condition:				

INITIAL LOSS REPORT

The severe thunderstorm came through the City of Chesterfield causing significant damages due to high winds and hail to multiple facilities under the City of Chesterfield. There were 20 City vehicles hit with hail that have damages either to the body of the vehicle and/or the windshields. They were parked.

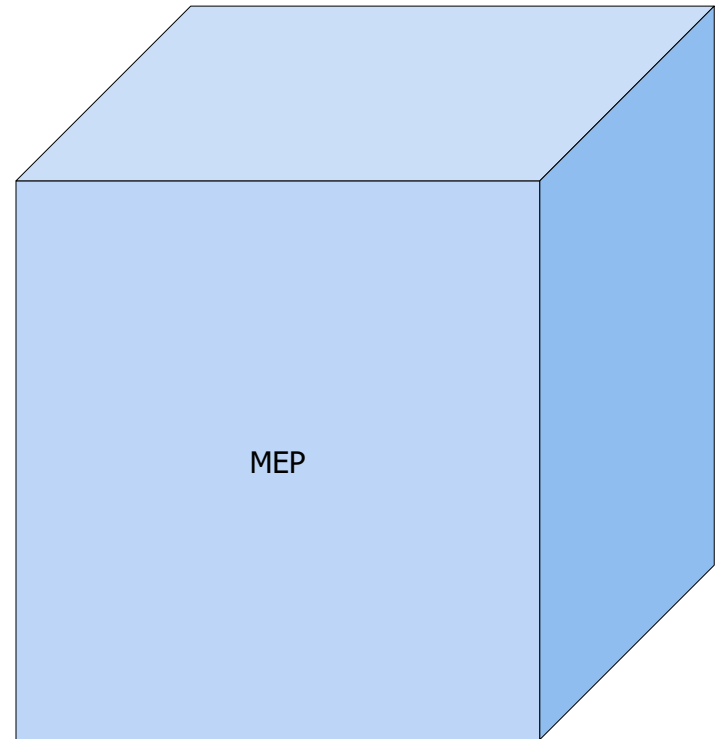
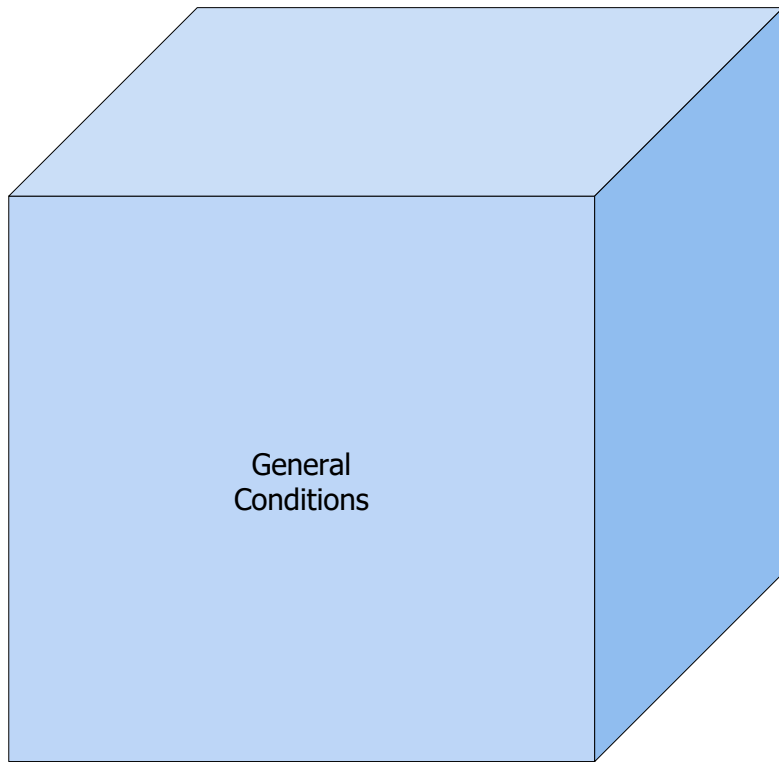
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Hail

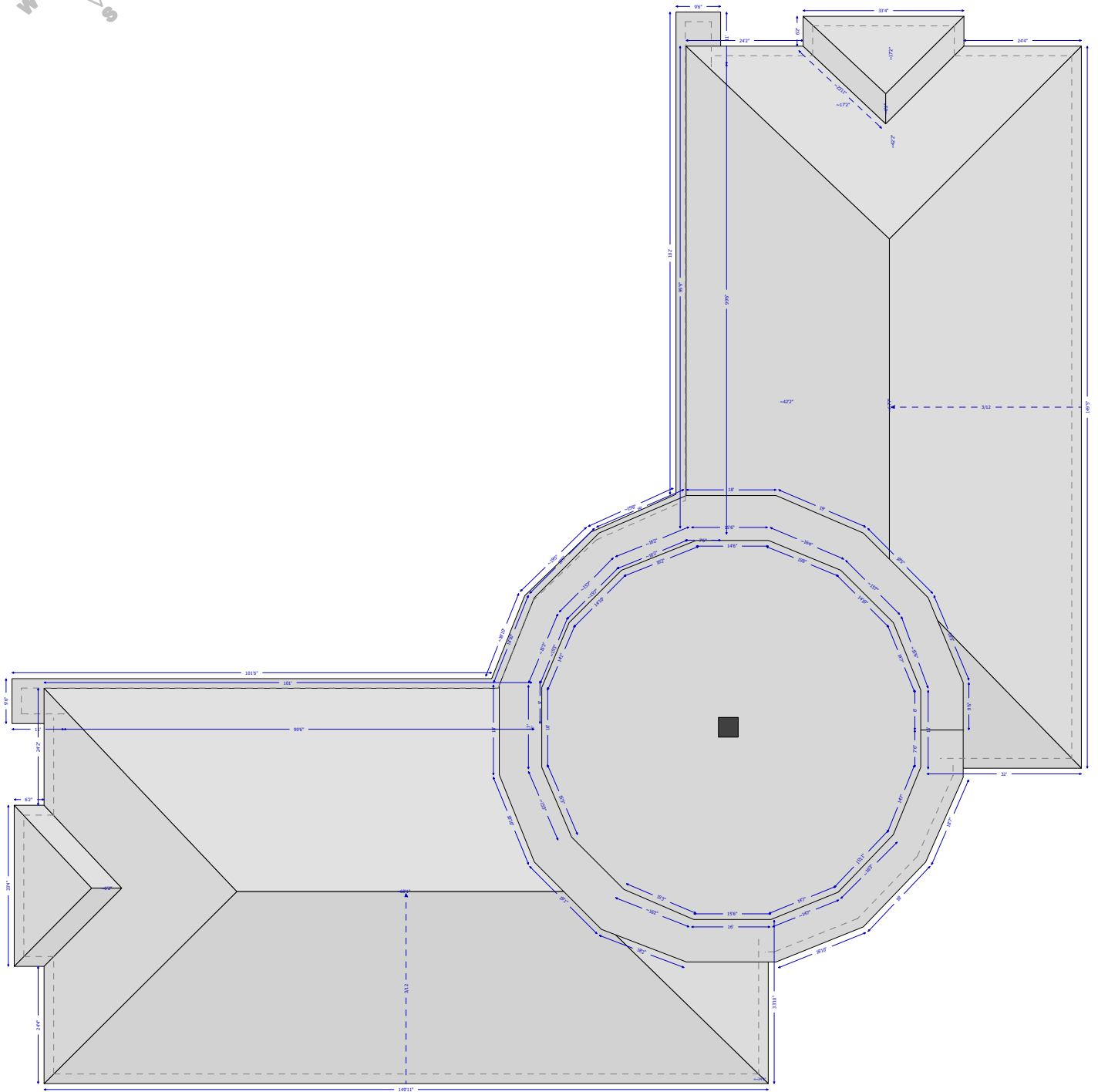
DAMAGES

GENERAL COMMENTS

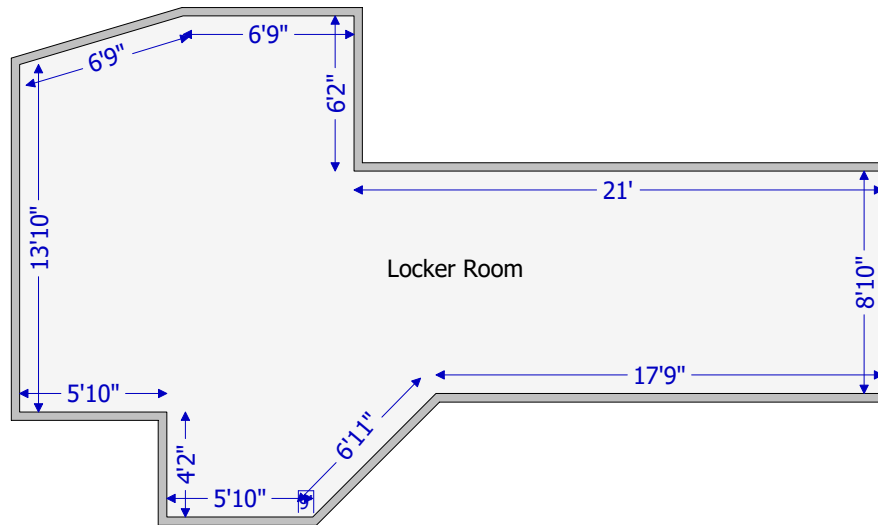
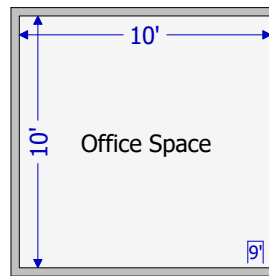
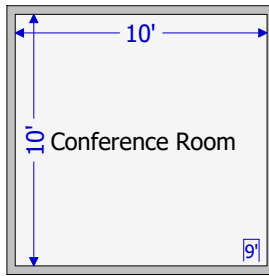
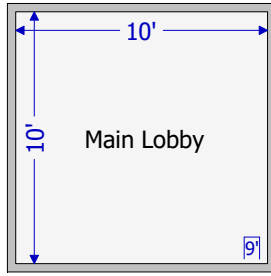
General Conditions:



Roofplan:



Interior:





Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)			
Completed								
FLOORPLAN: General Conditions								

General Conditions

Labor:

1 Site Supervision / Project Management	288	\$117.41	HR	\$0.00	\$0.00	\$33,814.08	\$0.00	\$33,814.08
Full time supervision during weekend working hours for 10 hours a day for 3 months. Additional four hours of labor during weekdays for organization, and communication with client.								
2 General Laborer's Work	96	\$61.28	HR	\$0.00	\$0.00	\$5,882.88	\$0.00	\$5,882.88
General cleanup labor to maintain safe working conditions on weekends for 4 hours per day for 3 months.								
3 Site Safety	7,292.00	\$1.00	SF	\$0.00	\$0.00	\$7,292.00	\$1,750.08	\$5,541.92
Provides daily maintenance of site safety, flagging, fall protection, lift and drop zones, and necessary materials.								

Application of overtime rates by trade.

4 Total labor hours multiplied by 0.05 to account for overtime rates.								
5 Carpenter's Work	156	\$71.15	HR	\$0.00	\$0.00	\$11,099.40	\$0.00	\$11,099.40
6 Cleaning Laborer's Work	2.50	\$42.04	HR	\$0.00	\$0.00	\$105.10	\$0.00	\$105.10
7 Drywaller's Work	12	\$79.22	HR	\$0.00	\$0.00	\$950.64	\$0.00	\$950.64
8 Roofer's Work	744	\$90.35	HR	\$0.00	\$0.00	\$67,220.40	\$0.00	\$67,220.40
9 Painter's Work	59.50	\$65.48	HR	\$0.00	\$0.00	\$3,896.06	\$0.00	\$3,896.06

Permitting, Engineering, Design:

10 Taxes, Insurance, Permits & Fees	1	\$0.00	EA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
AS INCURRED								
11 Architectural/Drafting Fees	1	\$0.00	EA	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
AS INCURRED								

Temporary Services:

12 Portable Toilet Per Month	6	\$140.04	EA	\$0.00	\$0.00	\$840.24	\$0.00	\$840.24
Consideration to have 1 toilet up on the roof due to difficulty accessing roof.								
13 Temporary hand washing station	6	\$150.00	EA	\$0.00	\$0.00	\$900.00	\$0.00	\$900.00
Consideration to have 1 temporary hand washing station up on the roof due to difficulty accessing roof.								

Equipment:

14 Mobilization Fee	6	\$250.00	LS	\$0.00	\$0.00	\$1,500.00	\$0.00	\$1,500.00
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J.S. Held, LLC.
 50 Jericho Quadrangle, Suite 117
 Jericho, N.Y. 11753

Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV	
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)				
Completed									
15 Forklift, Telescoping Boom, 3-4 Ton, Rental Rate, Per Month	3	\$2,573.00	EA	\$0.00	\$0.00	\$7,719.00	\$0.00	\$7,719.00	
16 Telescoping Boom Forklift Operator (HR)	120	\$72.96	HR	\$0.00	\$0.00	\$8,755.20	\$0.00	\$8,755.20	
17 Scaffolding, per Month 5'x5'	280	\$42.00	MO	\$0.00	\$0.00	\$11,760.00	\$0.00	\$11,760.00	
Consideration for 35 sets, 4 stacks tall, for 2 months.									
18 Scaffolding, Plank, Per Month	140	\$34.18	MO	\$0.00	\$0.00	\$4,785.20	\$0.00	\$4,785.20	
Consideration for 70 planks for 2 months.									
19 Scaffolding, Guardrail, Per Month	40	\$8.31	MO	\$0.00	\$0.00	\$332.40	\$0.00	\$332.40	
Consideration for 20 guardrails for 2 months.									
20 Scaffolding, Leveling Jack/Base Plate, Per Month	280	\$5.54	MO	\$0.00	\$0.00	\$1,551.20	\$0.00	\$1,551.20	
Consideration for 140 Jack/Base Plates for 2 months.									
21 Scaffolding, Setup & Take Down, per Section	2,240	\$30.63	EA	\$0.00	\$0.00	\$68,611.20	\$0.00	\$68,611.20	
Consideration for 70 sections set up and take down 8 times for weekend only work.									
22 Temporary Chain Link Fence (per MO) 10'x12' Section	200	\$44.40	EA	\$0.00	\$0.00	\$8,880.00	\$0.00	\$8,880.00	
Debris Removal:									
23 Sheathing, Material Only 3/4" OSB	134.40	\$0.88	SF	\$0.00	\$0.00	\$118.27	\$0.00	\$118.27	
Plywood to protect the flatwork from the dumpsters.									
Includes 5% waste on quantity.									
24 Dumpster 30 Yard	5	\$754.79	EA	\$0.00	\$0.00	\$3,773.95	\$0.00	\$3,773.95	
General Conditions - Subtotal (30 items)				\$0.00	\$0.00	\$249,787.22	\$1,750.08	\$248,037.14	


MEP

HVAC:



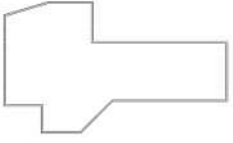
Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV
ESTIMATE: Structure (J.S. Held, LLC)						Claim #076924013318, (City of Chesterfield)		
Completed								
25 Rem/Reset - Air Conditioning Unit, Rooftop	5	\$10,777.44	EA	\$0.00	\$0.00	\$53,887.20	\$0.00	\$53,887.20
26 Rem/Reset - Heat Exchanger Detach and Reset	1	\$2,987.83	EA	\$0.00	\$0.00	\$2,987.83	\$5.03 ✓	\$2,982.80
27 Rem/Reset - Furnace Vent, Gas, Double Wall, 8"	12.00	\$54.21	LF	\$0.00	\$0.00	\$650.52	\$0.00	\$650.52
28 HVAC Installer's Work Additional consideration for after hours work on weekends only.	90	\$139.74	HR	\$0.00	\$0.00	\$12,576.60	\$0.00	\$12,576.60
29 Rem/Reset - Condensing Unit 1 1/2 Ton	1	\$560.89	EA	\$0.00	\$0.00	\$560.89	\$5.03 ✓	\$555.86
Electrical:								
30 Rem/Reset - Lightning Rod Ground Cable	296.67	\$97.45	LF	\$0.00	\$0.00	\$28,910.49	\$0.00	\$28,910.49
31 Rem/Reset - Security System, Camera Dome	2	\$55.75	EA	\$0.00	\$0.00	\$111.50	\$0.00	\$111.50
32 Electrician's Work Additional consideration for after hours work on weekends only.	90	\$147.57	HR	\$0.00	\$0.00	\$13,281.30	\$0.00	\$13,281.30
Plumbing:								
33 Rem/Reset - Gas line	191.00	\$42.19	LF	\$0.00	\$0.00	\$8,058.29	\$0.00	\$8,058.29
34 Plumber's Work Additional consideration for after hours work on weekends only.	40	\$149.66	HR	\$0.00	\$0.00	\$5,986.40	\$0.00	\$5,986.40
35 Crane, per Month	3	\$25,990.68	MO	\$0.00	\$0.00	\$77,972.04	\$0.00	\$77,972.04
36 Crane Operator (HR) Consideration for 8 hours a day for 3 months of weekend only work. Additional 2 hours per day for 12 weekends of setup/takedown time.	240	\$109.44	HR	\$0.00	\$0.00	\$26,265.60	\$0.00	\$26,265.60
37 Safety Spotter Work Additional consideration for after hours work on weekends only. One spotter on the roof and one on the ground.	384	\$61.28	HR	\$0.00	\$0.00	\$23,531.52	\$0.00	\$23,531.52
MEP - Subtotal (16 items)				\$0.00	\$0.00	\$254,780.18	\$10.06	\$254,770.12
General Conditions - Subtotal (46 items)				\$0.00	\$0.00	\$504,567.40	\$1,760.14	\$502,807.26

FLOORPLAN: Interior

Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV	
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)				
 Completed									

Locker Room

Length: 34'3"	Width: 19'11"	Height: 9' Flat
Walls: 934.50 SF	Walls-subs: 934.50 SF	Walls-subs-cas-bsbd: 904.21 SF
Doors: 0.00 SF	Windows: 0.00 SF	Openings: 0.00 SF
Floor: 422.44 SF	Ceiling: 422.44 SF	Perim (F): 103.83 LF
		Perim (C): 103.83 LF



Ceiling:


38 Drywall Patch, 1 to 4 SF	4	\$135.77	EA	\$0.00	\$0.00	\$543.08	\$9.11 ✓	\$533.97
39 Drywall Tape/Joint Repair	64.00	\$7.08	LF	\$0.00	\$0.00	\$453.12	\$6.14 ✓	\$446.98
40 Prime & Paint - Drywall/Plaster Ceiling	422.44	\$1.35	SF	\$0.00	\$0.00	\$570.29	\$21.13 ✓	\$549.16
41 Paint, 1 Coat - Drywall/Plaster Ceiling	422.44	\$0.67	SF	\$0.00	\$0.00	\$283.04	\$10.56 ✓	\$272.48

Walls:

42 Prep & Mask For Painting (LF)	103.83	\$1.26	LF	\$0.00	\$0.00	\$130.83	\$0.00	\$130.83
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Floor:

43 Floor Protection (SF) Heavy Paper & Tape, After Hours	443.56	\$0.65	SF	\$0.00	\$0.00	\$288.31	\$0.00	\$288.31
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 Includes 5% waste on quantity.

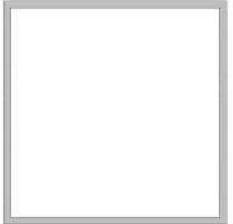
Miscellaneous:

44 Clean - Final Clean, per SF	422.44	\$0.33	SF	\$0.00	\$0.00	\$139.40	\$0.00	\$139.40
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Locker Room - Subtotal (11 items) **\$0.00 \$0.00 \$2,408.07 \$46.94 \$2,361.13**

Conference Room

Length: 10'	Width: 10'	Height: 9' Flat
Walls: 360.00 SF	Walls-subs: 360.00 SF	Walls-subs-cas-bsbd: 348.32 SF
Doors: 0.00 SF	Windows: 0.00 SF	Openings: 0.00 SF
Floor: 100.00 SF	Ceiling: 100.00 SF	Perim (F): 40.00 LF
		Perim (C): 40.00 LF



Ceiling:

45 Remove - Suspended Ceiling Tiles, 2'x2' Very Good	40.00	\$0.45	SF	\$0.00	\$0.00	\$18.00	\$0.00	\$18.00
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Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV	
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)				
Completed									

Conference Room(con't)

46 Replace - Suspended Ceiling Tiles, 2'x2' Very Good	42.00	\$4.34	SF	\$0.00	\$0.00	\$182.28	\$9.61 ✓	\$172.67
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Includes 5% waste on quantity.

Mechanical:

47 Replace - Duct, Flexible, Fiberglass, 10"	20.60	\$9.88	LF	\$0.00	\$0.00	\$203.53	\$37.24 ✓	\$166.29
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Includes 3% waste on quantity.

Electrical:

48 Remove - Fixture, Recessed 6", Very Good	3	\$19.20	EA	\$0.00	\$0.00	\$57.60	\$0.00	\$57.60
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49 Replace - Fixture, Recessed 6", Very Good	3	\$154.83	EA	\$0.00	\$0.00	\$464.49	\$202.28 ✓	\$262.21
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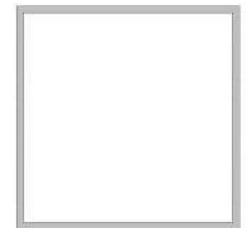
Miscellaneous:

50 Clean - Final Clean, per SF	100.00	\$0.33	SF	\$0.00	\$0.00	\$33.00	\$0.00	\$33.00
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Conference Room - Subtotal (10 items)				\$0.00	\$0.00	\$958.90	\$249.13	\$709.77
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Office Space

Length: 10'	Width: 10'	Height: 9' Flat
Walls: 360.00 SF	Walls-subs: 360.00 SF	Walls-subs-cas-bsbd: 348.32 SF
Doors: 0.00 SF	Windows: 0.00 SF	Openings: 0.00 SF
Floor: 100.00 SF	Ceiling: 100.00 SF	Perim (F): 40.00 LF
		Perim (C): 40.00 LF



Ceiling:

51 Remove - Suspended Ceiling Tiles, 2'x2' Very Good	40.00	\$0.45	SF	\$0.00	\$0.00	\$18.00	\$0.00	\$18.00
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52 Replace - Suspended Ceiling Tiles, 2'x2' Very Good	42.00	\$4.34	SF	\$0.00	\$0.00	\$182.28	\$9.61 ✓	\$172.67
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Includes 5% waste on quantity.

Mechanical:

53 Replace - Duct, Flexible, Fiberglass, 10"	10.30	\$9.88	LF	\$0.00	\$0.00	\$101.76	\$18.62 ✓	\$83.14
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Includes 3% waste on quantity.



Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV	
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)				
Completed									

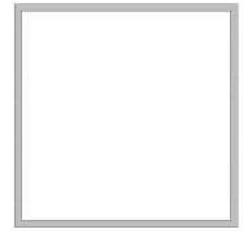
Office Space(con't)

Miscellaneous:

54 Clean - Final Clean, per SF	100.00	\$0.33	SF	\$0.00	\$0.00	\$33.00	\$0.00	\$33.00
Office Space - Subtotal (7 items)				\$0.00	\$0.00	\$335.04	\$28.23	\$306.81

Main Lobby

Length: 10' **Width:** 10' **Height:** 9' Flat
Walls: 360.00 SF **Walls-subs:** 360.00 SF **Walls-subs-cas-bsbd:** 348.32 SF
Doors: 0.00 SF **Windows:** 0.00 SF **Openings:** 0.00 SF **Missing Walls:** 0.00 SF
Floor: 100.00 SF **Ceiling:** 100.00 SF **Perim (F):** 40.00 LF **Perim (C):** 40.00 LF



Ceiling:

55 Drywall Patch, 1 to 4 SF	4	\$135.77	EA	\$0.00	\$0.00	\$543.08	\$9.11 ✓	\$533.97
56 Drywall Tape/Joint Repair	64.00	\$7.08	LF	\$0.00	\$0.00	\$453.12	\$6.14 ✓	\$446.98
57 Prime & Paint - Drywall/Plaster Ceiling	4,365.60	\$1.35	SF	\$0.00	\$0.00	\$5,893.56	\$218.32 ✓	\$5,675.24
58 Paint, 1 Coat - Drywall/Plaster Ceiling	4,365.60	\$0.67	SF	\$0.00	\$0.00	\$2,924.95	\$109.16 ✓	\$2,815.79

Walls:

59 Prep & Mask For Painting (LF)	300.00	\$1.26	LF	\$0.00	\$0.00	\$378.00	\$0.00	\$378.00
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Floor:

60 Floor Protection (SF) Heavy Paper & Tape, After Hours	9,167.76	\$0.65	SF	\$0.00	\$0.00	\$5,959.05	\$0.00	\$5,959.05
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Includes 5% waste on quantity. Added additional 20% to account for covering of additional items.


Includes 5% waste on quantity.

Miscellaneous:

61 Clean - Final Clean, per SF	100.00	\$0.33	SF	\$0.00	\$0.00	\$33.00	\$0.00	\$33.00
Main Lobby - Subtotal (11 items)				\$0.00	\$0.00	\$16,184.76	\$342.73	\$15,842.03

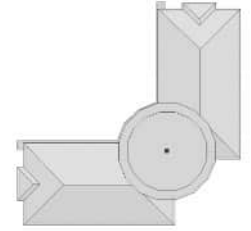
Interior - Subtotal (39 items)				\$0.00	\$0.00	\$19,886.77	\$667.03	\$19,219.74
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ROOFPLAN: Roofplan

Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)			
 Completed								

Roof

Roof area: 31,161.60 SF **Squares:** 311.6 SQ **Soffit:** 1,773.87 SF
Eaves: 1,292.91 LF **Ridge:** 148.06 LF


Debris Removal:

62	Remove - Height Allowance, Roof Covering, 3 Story	98.07	\$54.21	SQ	\$0.00	\$0.00	\$5,316.37	\$0.00	\$5,316.37
63	Remove - Sheathing, Roof, Treated Plywood, 1/2"	8,492.08	\$0.85	SF	\$0.00	\$0.00	\$7,218.27	\$0.00	\$7,218.27
64	Remove - Flashing, Metal, Over 8", Less Than 4 Bends	296.67	\$3.99	LF	\$0.00	\$0.00	\$1,183.72	\$0.00	\$1,183.72
65	Remove - Insulation, Rigid, Polyisocyanurate, 2"	14,899.89	\$0.93	SF	\$0.00	\$0.00	\$13,856.90	\$0.00	\$13,856.90
 Quantity adjusted to account for tapered roof system.									
66	Remove - EPDM Rubber Roofing, Mechanically Fastened, 60 mil.	98.07	\$168.86	SQ	\$0.00	\$0.00	\$16,560.10	\$0.00	\$16,560.10
67	Remove - Parapet Wall Flashing, EPDM, Fully Adhered, 60 mil.	242.13	\$17.28	LF	\$0.00	\$0.00	\$4,184.01	\$0.00	\$4,184.01

EPDM Roof:

68	Replace - Height Allowance, Roof Covering, 3 Story	98.07	\$8.85	SQ	\$0.00	\$0.00	\$867.92	\$0.00	\$867.92
69	Replace - Sheathing, Roof, Treated Plywood, 1/2"	8,916.68	\$3.55	SF	\$0.00	\$0.00	\$31,654.21	\$4,993.34 	\$26,660.87
 Includes 5% waste on quantity.									
70	Replace - Flashing, Metal, Over 8", Less Than 4 Bends	311.50	\$11.17	LF	\$0.00	\$0.00	\$3,479.46	\$651.82 	\$2,827.64
 Includes 5% waste on quantity.									
71	Replace - Insulation, Rigid, Polyisocyanurate, 2"	14,899.89	\$4.91	SF	\$0.00	\$0.00	\$73,158.46	\$5,936.12 	\$67,222.34



J.S. Held, LLC.
 50 Jericho Quadrangle, Suite 117
 Jericho, N.Y. 11753

Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV	
ESTIMATE: Structure (J.S. Held, LLC)					Claim #076924013318, (City of Chesterfield)				
Completed									

Quantity and labor adjusted to account for tapered roof system.

72	Replace - EPDM Rubber Roofing, Fully Adhered, 60 mil.	107.88	\$604.27	SQ	\$0.00	\$0.00	\$65,188.65	\$25,063.49	✓	\$40,125.16
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Includes 10% waste on quantity.

73	Replace - Cant Strip, Flat Roof, Perlite	254.24	\$6.71	LF	\$0.00	\$0.00	\$1,705.95	\$245.98	✓	\$1,459.97
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Includes 5% waste on quantity.

74	Replace - Parapet Wall Flashing, EPDM, Fully Adhered, 60 mil.	266.34	\$66.92	LF	\$0.00	\$0.00	\$17,823.47	\$4,860.04	✓	\$12,963.43
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Includes 10% waste on quantity.

Pricing adjusted to allow for 8' parapet wall.

75	Replace - Flashing, Pipe Jack, Neoprene	10	\$86.12	EA	\$0.00	\$0.00	\$861.20	\$408.75	✓	\$452.45
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76	Replace - Roof Curb, Covering, EPDM	390.50	\$35.95	LF	\$0.00	\$0.00	\$14,038.48	\$2,061.84	✓	\$11,976.64
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Includes 10% waste on quantity.

77	Rem/Reset - Roof Hatch	1	\$211.70	EA	\$0.00	\$0.00	\$211.70	\$5.38	✓	\$206.32
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78	Rem/Reset - Ladder, Steel Fabricated, Wall Mounted	24.00	\$6.34	LF	\$0.00	\$0.00	\$152.16	\$22.75	✓	\$129.41
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79	Replace - Rubber walkway pad	396.00	\$7.83	SF	\$0.00	\$0.00	\$3,100.68	\$1,951.29	✓	\$1,149.39
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Includes 10% waste on quantity.

80	Remove - Insulation, Rigid, Polyisocyanurate, 3"	2,530.75	\$0.93	SF	\$0.00	\$0.00	\$2,353.60	\$0.00		\$2,353.60
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81	Replace - Insulation, Rigid, Polyisocyanurate, 3"	2,657.29	\$4.30	SF	\$0.00	\$0.00	\$11,426.34	\$1,556.11	✓	\$9,870.23
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Includes 5% waste on quantity.

82 Provides two electricians for eight hours per weekend to detach, make safe, and reattach HVAC, Satellite, and electrical runs.

83	Electrician's Work	192	\$147.57	HR	\$0.00	\$0.00	\$28,333.44	\$0.00		\$28,333.44
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Overtime rates.

84	Rem/Reset - Roof Drain, Cast Iron	6	\$130.33	EA	\$0.00	\$0.00	\$781.98	\$5.49	✓	\$776.49
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Roof - Subtotal (25 items)					\$0.00	\$0.00	\$303,457.07	\$47,762.40		\$255,694.67
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Roofplan - Subtotal (25 items)					\$0.00	\$0.00	\$303,457.07	\$47,762.40		\$255,694.67
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J.S. Held, LLC.
50 Jericho Quadrangle, Suite 117
Jericho, N.Y. 11753

Description	Quantity	Unit Price	Per	Total O&P	Total Taxes	RC	Depreciation	ACV
ESTIMATE: Structure (J.S. Held, LLC)				Claim #076924013318, (City of Chesterfield)				
Completed								
Subtotal				\$0.00	\$0.00	\$827,911.24	\$50,189.57	\$777,721.67



ESTIMATE: Structure (J.S. Held, LLC)

Claim #076924013318, (City of Chesterfield)

Completed

MATERIALS	Quantity	Purchase Qty	Total
Cant Strip, Flat Roof, Perlite (Replace)	254.24 LF	n/a	\$327.97
Condensing Unit 1 1/2 Ton (Rem/Reset)	1 EA	n/a	\$6.71
Drywall Patch, 1 to 4 SF	8 EA	n/a	\$56.96
Drywall Tape/Joint Repair	128.00 LF	n/a	\$38.40
Drywall/Plaster Ceiling (Paint, 1 Coat)	4,788.04 SF	n/a	\$718.21
Drywall/Plaster Ceiling (Prime & Paint)	4,788.04 SF	n/a	\$1,436.41
Duct, Flexible, Fiberglass, 10" (Replace)	30.90 LF	n/a	\$74.47
Dumpster 30 Yard	5 EA	n/a	\$3,773.95
EPDM Rubber Roofing, Fully Adhered, 60 mil. (Replace)	107.88 SQ	n/a	\$33,417.99
Final Clean, per SF (Clean)	722.44 SF	n/a	\$36.12
Fixture, Recessed 6", Very Good (Replace)	3 EA	n/a	\$269.70
Flashing, Metal, Over 8", Less Than 4 Bends (Remove)	296.67 LF	n/a	\$2.97
Flashing, Metal, Over 8", Less Than 4 Bends (Replace)	311.50 LF	n/a	\$869.09
Flashing, Pipe Jack, Neoprene (Replace)	10 EA	n/a	\$545.00
Floor Protection (SF) Heavy Paper & Tape, After Hours	9,611.32 SF	n/a	\$2,595.06
Heat Exchanger Detach and Reset (Rem/Reset)	1 EA	n/a	\$6.71
Insulation, Rigid, Polyisocyanurate, 2" (Replace)	14,899.89 SF	n/a	\$24,733.82
Insulation, Rigid, Polyisocyanurate, 3" (Replace)	2,657.29 SF	n/a	\$6,483.79
Ladder, Steel Fabricated, Wall Mounted (Rem/Reset)	24.00 LF	n/a	\$37.92
Mobilization Fee	6 LS	n/a	\$1,500.00
Parapet Wall Flashing, EPDM, Fully Adhered, 60 mil. (Replace)	266.34 LF	n/a	\$6,480.05
Prep & Mask For Painting (LF)	403.83 LF	n/a	\$286.72
Roof Curb, Covering, EPDM (Replace)	390.50 LF	n/a	\$2,749.12
Roof Drain, Cast Iron (Rem/Reset)	6 EA	n/a	\$7.32
Roof Hatch (Rem/Reset)	1 EA	n/a	\$11.20
Rubber walkway pad (Replace)	396.00 SF	n/a	\$2,601.72
Sheathing, Material Only 3/4" OSB	134.40 SF	n/a	\$118.27
Sheathing, Roof, Treated Plywood, 1/2" (Replace)	8,916.68 SF	n/a	\$12,483.35
Site Safety	7,292.00 SF	n/a	\$7,292.00
Suspended Ceiling Tiles, 2'x2' Very Good (Replace)	84.00 SF	n/a	\$240.24
			\$109,201.24

LABOR	Quantity	Rate	Total
1 CARPENTER	~529.43 hrs	\$71.15	\$37,648.85
1 CLEANING LABORER	~7.20 hrs	\$42.04	\$300.16
1 CRPT & 1 LBR	~4.97 hrs	\$56.00	\$278.26
1 DRYWALLER	~35.96 hrs	\$79.22	\$2,847.68
1 ELCTN & 1 LBR	~415.34 hrs	\$69.61	\$28,910.49
1 ELECTRICIAN	~192.00 hrs	\$147.57	\$28,333.44
1 ELECTRICIAN	~138.11 hrs	\$98.38	\$13,587.59
1 HVAC TECHNICIAN	~172.95 hrs	\$93.16	\$16,111.90
1 LABORER	~1,120.00 hrs	\$61.25	\$68,611.20



J.S. Held, LLC.
 50 Jericho Quadrangle, Suite 117
 Jericho, N.Y. 11753

ESTIMATE: Structure (J.S. Held, LLC)

Claim #076924013318, (City of Chesterfield)

Completed

1 LABORER	~721.46 hrs	\$40.85	\$29,472.00
1 OPEGEX	~480.00 hrs	\$72.96	\$35,020.80
1 PAINTER	~178.28 hrs	\$65.48	\$11,635.39
1 PLMR & 1 LBR & .5 OPEGH	~280.00 hrs	\$106.26	\$29,752.80
1 PLUMBER	~60.00 hrs	\$99.77	\$5,986.40
1 PLUMBER & 1 LABORER	~114.60 hrs	\$70.31	\$8,058.29
1 PROJECT SUPERVISOR	~432.03 hrs	\$78.27	\$33,814.08
1 ROOFER	~5.88 hrs	\$147.57	\$867.92
1 ROOFER	~2,476.64 hrs	\$90.35	\$223,704.10
1 SHEET METAL WORKER	~3.09 hrs	\$74.71	\$230.82
1 WATER REMEDIATION TECHNICIAN - AFTER HOURS	~35.56 hrs	\$103.12	\$3,652.30
FLOORING INSTALLER	~8.16 hrs	\$61.05	\$498.96
	~7,411.66 hrs		\$579,323.43

EQUIPMENT	Quantity	Total
Air Conditioning Unit, Rooftop (Rem/Reset)	5 EA	\$24,134.40
Crane, per Month	3 MO	\$77,972.04
Final Clean, per SF (Clean)	722.44 SF	\$7.22
Flashing, Metal, Over 8", Less Than 4 Bends (Replace)	311.50 LF	\$149.52
Forklift, Telescoping Boom, 3-4 Ton, Rental Rate, Per Month	3 EA	\$7,719.00
Insulation, Rigid, Polyisocyanurate, 3" (Replace)	2,657.29 SF	\$318.87
Ladder, Steel Fabricated, Wall Mounted (Rem/Reset)	24.00 LF	\$36.48
Portable Toilet Per Month	6 EA	\$840.24
Scaffolding, Guardrail, Per Month	40 MO	\$332.40
Scaffolding, Leveling Jack/Base Plate, Per Month	280 MO	\$1,551.20
Scaffolding, per Month 5'x5'	280 MO	\$11,760.00
Scaffolding, Plank, Per Month	140 MO	\$4,785.20
Temporary Chain Link Fence (per MO) 10'x12' Section	200 EA	\$8,880.00
Temporary hand washing station	6 EA	\$900.00
		\$139,386.57



ESTIMATE: Structure (J.S. Held, LLC)

Claim #076924013318, (City of Chesterfield)

Completed

Total Materials:	\$109,201.24
Total Labor:	\$579,323.43
Total Equipment:	\$139,386.57
Total Market Conditions:	\$0.00
Subtotal:	\$827,911.24
Add 0.00% overhead (some items excluded):	\$0.00
Add 0.00% profit (some items excluded):	\$0.00
Replacement Cost Value:	\$827,911.24
Replacement Cost on Coverage Building:	\$827,911.24
Less Recoverable Depreciation:	\$(50,189.57)
Net Actual Cash Value on Coverage Building:	\$777,721.67
Coverage Building Deductible (\$0.00) applied:	\$0.00
Net Actual Cash Value on Coverage Building after Deductible:	\$777,721.67
Estimate Total on Coverage Building:	\$777,721.67
Recoverable Depreciation:	\$50,189.57
Net Coverage Building after Deductible if Depreciation Is Recovered:	\$827,911.24
Estimate Total on Coverage Building if Depreciation Is Recovered:	\$827,911.24
Net Estimate:	\$777,721.67
Total Net Recoverable Depreciation:	\$50,189.57
Net Estimate if Depreciation Is Recovered:	\$827,911.24

Finalization

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: May 24, 2024

RE: City Hall Roof Replacement

As you know, the 2024 Budget contains \$330,000 in Account 137-076-5470 (ARPA) for the replacement of the roof at City Hall. This is the original EDPM roof constructed in 2021, with an expected life of 20-25 years. The roof has suffered from storm damage in 2020, 2023, and most recently the April 1, 2024 storm. We have submitted an insurance claim for the storm damage and are awaiting a final decision from the insurance company. If insurance will cover any of the repairs that reimbursement will be deposited into the City's General Fund. The City's deductible for this type of damage is \$50,000. Regardless of whether or not this is covered by insurance, the roof needs to be replaced to protect the building and avoid further damage to the interior.

The Department of Public Works publicly opened bids for this project on May 14, 2024. The results of the bid opening are contained in the attached memorandum from Civil Engineer Steve Merk. As you can see, the one and only bid received was submitted by W James Taylor Incorporated in the amount of \$327,753. While it is disappointing to receive only one bid there were five roofing companies who attended the pre-bid meeting so we know the bid advertisement was received in the roofing community. The bid from W James Taylor is within budget and W James Taylor has very positive references for this type of work. **Accordingly, I recommend that the City award this project to the low bidder, W James Taylor, in an amount not to exceed the budgeted amount of \$330,000.**

The new Carlisle roof contains a 20-year warranty. Should you have questions or require additional information, please contact me.

Concurrence:

J Kelly

Jeannette Kelly, Finance Director

Action Recommended

This matter should be forwarded to the City Council for consideration. Should Council concur with Staff's recommendation, it should authorize the City Administrator to execute an Agreement with W James Taylor Incorporated in an amount not to exceed \$330,000 for the replacement of the City Hall roof.

Memorandum

Department of Public Works



TO: James A. Eckrich – Director of Public Works /City Engineer

FROM: Steven J. Merk – Civil Engineer

DATE: May 23, 2024

**RE: City Hall Roof Replacement
2024-PW-05**

As you are aware, sealed bids for the referenced project were opened on May 14, 2024 at 10:00 am. There was only one (1) bidder on the project. Upon a full review of the submitted bid, W. James Taylor, Inc. (dba Jim Taylor, Inc.) is the lowest, responsive and responsible bidder with a bid of \$327,753.00 (bid form attached). W. James Taylor, Inc. has positive references for this type of work and has successfully completed projects similar to this in the St. Louis area.

The project will include the removal of the original black EPDM roof and installation of a new black Carlisle Sure-Seal FleeceBACK Adhered Roofing System. The project will include the replacement of the roof material on the top rotunda and the two side loggia canopies. The existing HVAC units on the rotunda roof will remain in place, although gas and electric service lines to the units may need to be temporarily disconnected. Any disconnections will be done outside normal business hours. A dumpster and crane will be staged in front of City Hall, but an accessible route to the City Hall entrance will remain open at all times.

I recommend requesting authorization to enter into an agreement with W. James Taylor, Inc. for the City Hall Roof Replacement project in an amount not to exceed \$330,000. This amount includes a small contingency to allow for any unforeseen conditions and/or additional work as may be necessary to complete this project.

The 2024 budget allocation for construction of this project is \$330,000.

EXHIBIT A**BID FORM**

BID TIME: 10:00 a.m.

BID DATE: Tuesday, May 14, 2024

TO: THE CITY OF CHESTERFIELD

The undersigned, having carefully examined the site and all the Contract Documents, adding Addenda 1 through 1, for the

City Hall Roof Replacement
2024-PW-05

being familiar with the local conditions affecting the work, hereby proposes to furnish all labor, materials, equipment and services required for the performance and completion of said project in accordance with the said Contract Documents for the following itemized bid.

The City is requesting unit price proposals for this work, consisting of all work necessary to tear off the existing EPDM roof system and install a new FleeceBACK Adhered Roofing System. There are five (5) HVAC units that will need to be raised to allow for existing roof removal and to provide proper termination of the new roof system. Existing gas and plumbing lines serving the units will need to be disconnected, raised, and reconnected. The existing lighting protection system to be removed, reinstalled, and certified.

The Contract contains an alternative dispute resolution provision which may be enforced by the parties.

Bid submitted by:Company Name: W. James Taylor Inc. dba Jim Taylor Inc.Address: 1127 East B St.City, State Belleville, IL 62220Phone number: 618-233-2424 Fax: _____E-mail address: cebersoldt@taylorroof.com

Type of Firm: Sole Partnership _____ Partnership _____
Corporation Other _____

Officer Julia YankTitle PresidentSignature *Julia Yank*Date 5.13.2024

BID FORM

The bid items shall include all materials, labor, delivery and installation necessary for

Item	Description	Unit	Qty	Unit Price	Price
1	Roof System Removal and Replacement	LS	1	\$ 459,900.00	\$ 459,900.00
2	Remove and Replace Damaged/Deteriorated Plywood Decking	SF	100	\$ 6.50	\$ 650.00
3	Remove and Reinstall HVAC Units (DEDUCT)	LS	1	(\$ 132,797.00)	(\$ 132,797.00)
				TOTAL BID	\$ 327,753.00



BID TABULATION
City Hall Roof Replacement
2024-PW-05
May 14, 2024

ITEM #	DESCRIPTION	UNITS	QUANTITY	ENGINEER'S ESTIMATE		Jim Taylor, Inc.	
				UNIT PRICE	EXTENDED PRICE	UNIT PRICE	EXTENDED PRICE
1	Roof Removal and Replacement	LS	1	\$ 300,000.00	\$ 300,000.00	\$ 459,900.00	\$ 459,900.00
2	Remove and Replace Damaged/Deteriorated Plywood Decking	Sq. Ft.	100	\$ 5.00	\$ 500.00	\$ 6.50	\$ 650.00
3	Remove and Reinstall HVAC Units (Deduct)	LS	1	\$ -	\$ -	\$ (132,797.00)	\$ (132,797.00)
TOTAL BID					\$300,500.00		\$327,753.00

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, Dir of PW / City Engr *JA*
TW Dieckmann, Dir of PRA

DATE: May 31, 2024

RE: Hail Damage to Parks Vehicles

As you know the City of Chesterfield experienced a severe thunderstorm on April 1, 2024. This storm produced hail which damaged twenty City owned vehicles parked at the Chesterfield Valley Athletic Complex. The damage includes small dimples on the vehicle bodies and two broken windshields. The City of Chesterfield submitted an insurance claim for this damage, which was assessed by Chubb Insurance. Chubb estimated the cost to repair the damage of all vehicles at \$243,086. Because the City has a \$100,000 deductible for hail damage to vehicles, Chubb will be sending the City of Chesterfield a check in the amount of \$143,086, which will be deposited into Account 001-000-4920 - Insurance Reimbursement Revenue.

The majority of the vehicles damaged are maintenance trucks. Because of the classification of vehicle and the minor impact the damage has on the use of the maintenance vehicles, the recommendation of the City Staff (Parks and Public Works) is that these vehicles are NOT repaired. The only repairs we are recommending are the repair of the two windshields and the repair of the van (PK-33), estimated at \$19,000. Those repairs will be completed using existing budgeted funds within Account 001-073-5248 – Vehicle Maintenance and Repair. The van has been recommended for repair because it is not a maintenance vehicle and part of its use is to transport artists to/from the Chesterfield Amphitheater.

While we acknowledge the body damage may impact the resale value of these vehicles, we do not believe the repair costs (which vary from \$6,000 to \$19,000 per vehicle) can be recouped as part of any future resale. Further, because the majority of these vehicles are maintenance trucks, many of them will experience additional minor damage throughout their useful life. Accordingly, our recommendation is to only repair the van (PK-33) and the windshields.

No further action is required at this time. This information should be forwarded to the full City Council for informational purposes only. Should you require additional information please let us know.

TO: F&A Committee
FROM: Justin Wyse ^{JW}
Director of Planning
Date: July 1, 2024
RE: CHLPC



At the May 13th, 2024 F&A Committee meeting, a motion was passed to begin preparations of code amendments to remove the regulatory role from CHLPC. Staff has identified three sections within the Unified Development Code to accomplish this. Two sections (405.02.040.B.1.e.(11) and 405.02.110.D.i) require minor amendments to state that any historic information identified by the City of Chesterfield instead of as identified by CHLPC.

The second amendment in more in depth and contains the regulations for establishing an “H” Historic District or “LPA” Landmark Preservation Area overlay districts. Modifications to this section of code include removing CHLPC from the formality of the nominating process (e.g. conducting public hearings, formal reports to Planning Commission), aligning the process with similar zoning procedures, and modifying the process for Certificates of Appropriateness. In the current form of the Code, establishment of any of these overlays requires two public hearings (one before CHLPC and one before Planning Commission) and includes a detailed set of requirements of a report that must be submitted by CHLPC to Planning Commission. This process is substantially more in depth than other procedures within the City of Chesterfield. The proposed changes align the procedure for establishment of these overlay districts with the same procedures used in the UDC for other zoning requests.

Additionally, with the removal of CHLPC from the regulatory side, the procedure for granting of a Certificate of Appropriateness has been modified. As proposed, any project requiring a Certificate of Appropriateness would require review by the Architectural Review Board before being reviewed by the Planning Commission. Additionally, the proposed amendment would make Certificates of Appropriateness subject to Power of Review. These modifications would align this process with similar procedures in the UDC for approval of site modifications.

In all other respects, the proposed code language maintains the criteria and requirements of the existing code.

Finally, while F&A has directed Staff to prepare this language, a formal recommendation to City Council on the disposition of the committee, a potential service agreement with a non governmental body to promote history, and costs associated with migrating webpages is still required.

Section 405.02.040.B.1.e.(11) of the City Code is hereby repealed and replaced with the following:

- (11) Approximate location of any historical artifacts, buildings, or historically significant buildings as identified by the **City of Chesterfield Historic and Landmark Preservation Committee (CHLPC)** or St. Louis County within the boundaries of the property.

Section 405.02.060 Landmark And Preservation Area (LPA) And Historic (H) Designation Procedures.

A) Scope Of Provisions. Nominations for an LPA or H designation shall be made to the **City of Chesterfield Historic and Landmark Preservation Committee (CHLPC)** and may only be submitted by the owner of record of the nominated property or structure, ~~by a member of the CHLPC~~, or by elected members of the City Council. Nominations shall be submitted to the City Clerk, who will within seven (7) days of receipt mail a notification of intent to nominate to the owner of record of the nominated property. Forms and criteria for nomination will be available at the office of the City Clerk.

B) Criteria For Consideration Of Nomination.

1. The ~~CHLPC~~ **City Council** shall, after such investigation as it deems necessary, make a determination as to whether a nominated property, structure, site, area or district meets one (1) or more of the following criteria:
 - a. Its character, interest, or value as part of the development, heritage, or cultural characteristics of the community, County, State or country;
 - b. Its overall setting and harmony as a collection of buildings, structures, objects where the overall collection forms a unit;
 - c. Its potential to be returned to an accurate historic appearance regardless of alterations or insensitive treatment that can be demonstrated to be reversible;
 - d. Its location as a site of a significant local, County, State, or national event;
 - e. Its identification with a person or persons who significantly contributed to the development of the community, County, State or country;
 - f. Its embodiment of distinguishing characteristics of an architectural

type valuable for the study of a period, type, method of construction, or use of indigenous materials;

- g. Its identification as the work of a master builder, designer, architect, or landscape architect whose individual work has influenced the development of the community, County, State or country;
 - h. Its embodiment of design, detailing, materials, or craftsmanship that render it architecturally significant;
 - i. Its embodiment of design elements that make it structurally or architecturally innovative;
 - j. Its unique location or singular physical characteristic that makes it an established or familiar visual feature of the neighborhood, community or City;
 - k. Its character as a particularly fine or unique example of a utilitarian structure, including, but not limited to, farmhouses, gas stations, or other commercial structures, with a high level of integrity or architectural significance;
 - l. Its suitability for preservation or restoration; and
 - m. Its potential to yield information important to history and prehistory.
2. Any structure, property, or area that meets one (1) or more of the above criteria shall also have sufficient integrity of location, design, materials, and workmanship to make it worthy of preservation or restoration.

C) ~~Public Hearing On Landmark Preservation Areas And Historic Designations. Upon receipt of a completed nomination of a landmark preservation area (LPA) or historic designation, the CHLPC shall schedule within thirty (30) days, a public hearing through the Department to solicit input and comment on the proposed nomination and guidelines for certificates of appropriateness. A public hearing shall be held per the requirements of Section 405.02.020 of this Article.~~

~~D) Report And Recommendation Of CHLPC. The CHLPC shall within ninety (90) days from receipt of a completed nomination in proper form adopt by resolution a recommendation that the nominated LPA or historic designation does or does not meet the criteria for designation in this Article. The resolution shall be accompanied by a report to the Planning Commission containing the following information:-~~

- ~~1. Explanations of the significance or lack of significance of the nominated landmark or historic designation as it relates to the criteria for designation;~~

2. ~~Explanation of the integrity or lack of integrity of the nominated landmark or historic designation;~~
3. ~~In the case of a nominated landmark found to meet the criteria for designation, the following shall be provided:-~~
 - a. ~~The significant exterior architectural features of the nominated landmark that should be protected;~~
 - b. ~~The types of construction, alteration, demolition and removal, other than those requiring a building or demolition permit, that should be reviewed for appropriateness pursuant to the provisions of this Article;~~
 - c. ~~Archaeological significance and recommendations for interpretation and protection.~~
4. ~~In the case of a nominated historic designation found to meet the criteria for designation, the following shall be provided:-~~
 - a. ~~The types of significant exterior architectural features of the structures within the nominated historic designation that should be protected;~~
 - b. ~~The types of alterations and demolitions that should be reviewed for appropriateness pursuant to the provisions of this Article;~~
 - c. ~~The type and significance of historic and prehistoric archaeological sites within the nominated historic designation;~~
 - d. ~~Proposals for design guidelines and CHLPC review of certificates of appropriateness within the nominated historic designation;~~
 - e. ~~The relationship of the nominated historic designation to the ongoing effort of the CHLPC to identify and nominate all potential cultural resources that meet the criteria for designation;~~
 - f. ~~Recommendations as to appropriate permitted uses, special uses, height and area regulations, minimum dwelling size, floor area, sign regulations, lot size, and parking regulations necessary or appropriate to the preservation of the nominated historic designation, including recommendations for buffer zones to protect and preserve visual integrity;~~
 - g. ~~A map showing the location of the nominated historic designation area.~~

~~E) Recommendations And Report. The recommendations and report of the CHLPC shall be sent to the Planning Commission within seven (7) days following the vote on the resolution and shall be available to the public in the~~

~~office of the City Clerk.~~

- ~~F) Notification Of Nomination. The Planning Commission shall schedule and hold a hearing on the nomination following receipt of a report and recommendation from the CHLPC that a nominated LPA or historic designation meets the criteria for designation. The meeting shall be scheduled, held and conducted in the same manner as other meetings to consider applications for zoning amendments or ordinance amendments. Notice of the date, time, place and purpose of the meeting and a copy of the completed nomination form shall be sent by regular mail to the owner(s) of record and to the nominators.~~
- ~~G) Public Hearing. Oral or written testimony concerning the significance of the nominated landmark or historic designation shall be taken at the public hearing before the Planning Commission from any person concerning the nomination. The CHLPC may present expert testimony or present its own evidence regarding the compliance of the nominated landmark or historic designation with the criteria for consideration of a nomination set forth in this Article. The owner of any nominated landmark or of any property within a nominated historic designation shall be allowed reasonable opportunity to present evidence regarding significance and shall be afforded the right of representation by counsel and reasonable opportunity to cross-examine expert witnesses. The hearing shall be closed upon completion of testimony.~~
- ~~H) Determination By Planning Commission. Within sixty (60) days following close of the public hearing, the Planning Commission shall make a determination upon the evidence whether the nominated landmark or historic designation does or does not meet the criteria for designation. Such a determination shall be made upon a motion and vote of the Planning Commission and shall be accompanied by a report stating the findings of the Planning Commission concerning the relationship between the criteria for designation of this Article and the nominated LPA or historic designation and all other information required by this Article.~~
- ~~I) Notification Of Determination. Notice of determination of the Planning Commission, including a copy of the report, shall be sent by regular mail to the owner of record of a nominated landmark and of all property within a nominated historic designation and to the nominator within seven (7) days following the decision of the Planning Commission.~~
- ~~J) Appeal. A determination by the Planning Commission that the nominated landmark or historic designation does or does not meet the criteria for designation shall be a final administrative decision reviewable under the Missouri Administrative Procedure and Review Act, unless the nominator or any owner of the nominated landmark or property within the nominated historic designation, within fifteen (15) days after the postmarked date of the~~

~~notice of the determination, files with the City Clerk a written appeal to the City Council.~~ Appeals and protests shall be in accordance with Section 405.02.190.

- K) Action By City Council. The City Council may within ~~thirty (30)~~ sixty (60) days after receiving the recommendation that the nominated landmark or historic designation be designated or receiving a written appeal, either reject the recommendation or written appeal by formal resolution or designate the landmark or historic designation by an ordinance. The City Council may hold a public hearing before enacting the resolution or ordinance and a written statement explaining the reasons for the action of the City Council shall accompany the ordinance. ~~The City Clerk shall provide written notification of the action of the City Council by regular mail to the nominator, the appellant, and the owner(s) of record of the nominated landmark or of all property within a nominated historic designation. The notice shall include a copy of the designation ordinance or resolution passed by the City Council and shall be sent within seven (7) days of the City Council action. A copy of each designation ordinance shall be sent to the CHLPC, the Planning Commission, and the Director of Planning.~~
- L) The Designation Ordinance. Upon designation, the landmark or historic designation shall be classified as an LPA, landmark preservation area, or H, historic designation, and the designating ordinance shall prescribe the significant exterior architectural features, the types of construction, alteration, demolition, and removal, other than those requiring a building or demolition permit that should be reviewed for appropriateness, the design guidelines for applying the criteria for review of appropriateness, permitted uses, special uses, height and area regulations, minimum dwelling size, floor area, lot size, sign regulation and parking regulations. The official Zoning Map of the City of Chesterfield shall be amended to show the location of the H, historic designation, or LPA, landmark preservation area.
- M) Interim Control. No municipal zoning authorization shall be issued for alteration, construction, demolition, or removal of a potential landmark or of any property or structure identified as a potential historic designation, while the CHLPC, Planning Commission or City Council is considering said property for a LPA landmark preservation area or historic designation, unless such alteration, removal or demolition is authorized by formal resolution of the City Council as necessary for public health, welfare or safety. In no event shall the delay be more than one hundred eighty (180) days.
- N) Amendment And Rescission Of Designation. Designation may be amended or rescinded upon petition to the City of Chesterfield and compliance with the same procedure and according to the same criteria set forth herein for designation.

O) Applications For Certificates Of Appropriateness.

1. An application for a certificate of appropriateness must be made prior to applying for a demolition permit or a building permit affecting the exterior architectural appearance of any landmark or any structure within an historic designation, including but not limited to the following:
 - a. Any construction, alteration, or removal requiring a building permit from the City of Chesterfield;
 - b. Any demolition in whole or in part requiring a demolition permit from the City of Chesterfield;
 - c. Any construction, alteration, demolition or removal affecting a significant exterior architectural feature or appearance as specified in the ordinance designating the landmark or historic designation;
 - d. Any construction, alteration or removal involving earth-disturbing activities that might affect archaeological resources;
 - e. Any actions to correct a violation of a minimum maintenance standard.
2. Applications for a certificate of appropriateness shall include accompanying plans and specifications affecting the exterior architectural appearance of a designated landmark or a property within a designated historic designation, and applications for building and demolition permits shall include plans and specifications for the contemplated use of the property. The Department shall forward applications for building and demolition permits to the CHLPC **Architectural Review Board (ARB)** ~~within seven (7) days following the receipt of the application.~~ A building or demolition permit shall not be issued until the CHLPC **a Certificate of Appropriateness** has **been** issued- ~~a certificate of appropriateness. Any applicant may request a meeting with the CHLPC before the application is reviewed by the CHLPC or during the review of the application. Application for review of construction, alteration, demolition, or removal not requiring a building permit for which a certificate of appropriateness is required shall be made on a form prepared by the CHLPC and available at the office of the City Clerk. The CHLPC shall consider the completed application at its next regular meeting.~~
3. ~~Stop Work Order. Whenever the CHLPC has reason to believe that an action for which a certificate of appropriateness is required has been initiated, or is about to be initiated, or that a violation of the conditions of a permit has occurred, it shall request that the Director of Planning make every reasonable effort to contact the owners, occupants,~~

~~contractors or subcontractors and inform them of proper procedures. If the CHLPC determines that a stop work order is necessary to halt an action, it shall request the Director of Planning to send a copy of the stop work order by certified mail, return receipt requested, to the owners, occupants, contractors and subcontractors, and notify them of the process of applying for a certificate of appropriateness. A copy of the proper application form shall be included in the notice. If necessary, a second or subsequent stop work order may be issued for the same project.~~

Section 405.02.110.D.i is repealed and replaced with the following:

- i. Approximate location of any historical building within the boundary tract, as identified by the St. Louis County Historic Building Commission or the City of Chesterfield.

PARKS, RECREATION AND ARTS COMMITTEE

Chair: Councilmember Budoor

Vice Chair: Councilmember Monachella

- A. Proposed Resolution No. 499 - Municipal Parks Grant RD-25 Central Park Playground:** The Parks, Recreation and Arts Committee unanimously recommended submission of a Municipal Parks Grant application for the Central Park Playground, and approval of the proposed, required resolution of support. **(Voice vote)**

- B. Aquatic Facility Replacement Strategy:** The Parks, Recreation and Arts Committee unanimously endorsed the aquatic Facility Replacement Strategy dated June 21st, 2024, prepared by City Administrator Geisel. Task one of the seven tasks outlined in the strategy has been completed and task two involves soliciting and funding a design consultant for the entire project, but whose first tasks would be to conduct additional public engagement and develop the preliminary design and cost estimates which would be used to develop funding strategies. **(Voice vote)**

- C. Central Park Forest Management:** The Parks, Recreation and Arts Committee unanimously endorsed a \$100,000 budgetary transfer from the Parks Fund – Fund Reserve in the full amount of a four-year Forest Management program, and to authorize a multi-year contract with Native Landscape Solutions, both of which are contingent on receiving the 2024-2025 Missouri Department of Conservation grant which would reimburse half of the City’s year one expenditures. **(Roll call vote)**

- D. Next Meeting – not yet scheduled**

NEXT MEETING

The next meeting of the Parks, Recreation and Arts Committee has not yet been scheduled.

If you have any questions or require additional information, please contact Parks, Recreation and Arts Director TW Dieckmann or me prior to Monday’s meeting.

MEMORANDUM

TO: Mike Geisel, City Administrator



FROM: TW Dieckmann, Director of Parks, Recreation & Arts



SUBJECT: Municipal Parks Grant RD 25 - Central Park playground

DATE: June 21, 2024

Applications are currently being accepted for round 25 (RD25) of the St. Louis County Municipal Parks Grant. It is my understanding the city has received fifteen "MUNI grants" over the years. Most recently \$525,000 in each of rounds 21 and 22 to construct Logan Park and \$575,000 in RD24 to renovate Miracle Field surface, scoreboard and playground at CVAC. The CVAC playground is complete. The Miracle Field improvements are scheduled for July.


Our RD25 application will include replacing Central Park playground with a larger, more colorful and creative modern design taking up the full space. Central Park is the focal point of our park system. This playground is a centrally located and highly visible amenity adjacent to our aquatic center, two popular picnic pavilions, the amphitheater, and surrounding lake and trails. It sees a high amount of usage.

The current playground was installed in 2001. It is showing significant signs of wear, discoloration, and occasional repairs. Several parts are no longer available. And, for the size of the playground surface area, there is a significant amount of wasted, unused space. The playground is well past its useful life, and is recommended for replacement in the 2019 Parks Master Plan.

Attached is a proposed resolution authorizing our submission of the RD 25 grant application. The maximum grant award is \$575,000 this round, the same as last year. A 5% city match improves our application score. We plan to request \$575,000 in our grant application, and include a city match of \$725,000, which exceeds the 5% and will improve our score. A quote and color renderings are also attached.

I request this be forwarded to the Parks, Recreation & Arts Committee of Council for action at their July 2, 2024 meeting. If supported, it would move forward for City Council approval at their July 21, 2024 meeting. Both PRA and F&A Committees of Council have previously endorsed submission of the Central Park playground for this round. The grant deadline is August 30, 2024. If awarded, we will return to Council for project authorization and funding at a later date. Please let me know if you have questions or need more information.

Please forward to PRA committee for their confirmation and recommendation to approve the required resolution.

 2024-6-25

Staff recommendation approved 4-0 by PRA Committee of Council at July 2, 2024 meeting.

 7-5-24

8.2.1 Critical Projects – Maintaining What We Have

This section outlines the projects that focus on the repair of existing parks, facilities, and amenities.

- Central Park Amphitheater Steps and Fencing is being addressed as needed from regular inspections. For this reason, no dollar amount is allocated to this project.
- Central Park Aquatic Center has a pool that need repair and has a fundable project and is designated in the CIP Prioritization in Table 4.
- Eberwein Trail Paving has been identified as a fundable project and is designated in the CIP Prioritization in Table 4.
- Central Park Playground Unit and Surfacing has been identified as approaching lifecycle replacement. While this project has an identified dollar amount, the Department has been exploring grants that could cover a significant portion of the project and plans to apply. The Department continues to inspect the playground and these inspections may lead to this project changing the year in which it is planned to be addressed through the efforts from the preventative maintenance program.
- Chesterfield Valley Athletic Complex Playground Unit and Surfacing has been identified as approaching lifecycle replacement and enhancement. While this project has an identified dollar amount, the Department has been exploring grants that could cover a significant portion of the project and plans to apply. The Department continues to inspect the playground and these inspections may lead to this project changing the year in which it is planned to be addressed through the efforts from the preventative maintenance program.

CRITICAL PROJECTS				
Location	Facility / Amenity / Infrastructure	Project	Criteria Code	Source of Need
Central Park	Amphitheater	Steps/Fencing	Structural Integrity	Inspection of integrity from initial identification
Central Park	Pool	Pool repair	Structural Integrity	Inspection of integrity from initial identification
Eberwein Park	Trail	Trail Paving	Function	Inspection of integrity for extended use from initial identification
Central Park	Playground	Playground Unit & Surfacing	Replacement	Existing Capital Improvement Plan and regular inspections
Chesterfield Valley Athletic Complex	Playground	Playground Unit & Surfacing	Replacement	Regular Inspections

Table 1: Critical Projects

Parks and Recreation Department Five-Year CIP Prioritization

Annual Funding	2021		2022		2023		2024	2025		5-Year Total
Park Site	Description	Allocation	Description	Allocation	Description	Allocation	No Capital Improvement Projects planned for this year	Description	Allocation	
Central Park Amphitheater					Steps	Annual Operating Budget				
Central Park Aquatic Center	Repair & Paint pool	\$70,670.00								
Eberwein Park			Trail paving	\$60,000.00						
Chesterfield Valley Athletic Complex					Playground Unit & Surfacing	\$324,000.00				
Central Park									Playground Unit & Surfacing	\$550,278.00
TOTAL	\$70,670.00		\$60,000.00		\$324,000.00		\$0.00	\$550,278.00		\$1,004,948.00
Analytics	Funding	\$70,670.00	Funding	\$60,000.00	Funding	\$324,000.00		Funding	\$550,278.00	\$849,000.00
					Grants	\$324,000.00		Grants	\$525,000.00	
	Balance	\$70,670.00	Balance	\$60,000.00	Balance	\$0.00		Balance	\$25,278.00	

Table 4: Five-Year Capital Improvement Projects Prioritization



Play & Park Structures of MO
 303 Bass St.
 Park Hills, MO, 63601
 Phone: 573-631-1968
 Fax: 423-425-3124
 Email:
 scasada@playandpark.com
 Contact: Steve Casada

Central Park

Chesterfield Parks, Recreation & Arts
 Attn: T W Dieckmann
 16365 Lydia Hill Drive
 Chesterfield, MO 63017
 Phone: 636-812-9500
 twdieckmann@chesterfield.mo.us

Quote Number: 796-167075D
 Quote Date: 6/14/2024

Stock ID	Description	Quantity	Weight	Unit Price	Amount
RDU	5-12 Play Structure	1	23661.5	\$325,190.00	\$325,190.00
	60040 -- 11'POST W/O CAP ALUM	4			
	60059 -- 5"OD ALUM UPR 10'W/CAP	2			
	60089 -- 5"OD ALUM UPR W/O CAP 12	4			
	60944 -- 5"OD ALUM UPR 15'W/O CAP	4			
	71000 -- SQUARE DECK	3			
	71001 -- TRIANGLE DECK	1			
	71003 -- SEMI-HEX DECK	1			
	71031 -- RING CLAMP ASSEMBLY	125			
	71309 -- CABLE CLIMB ACROSS	1			
	71348 -- SEAT FOR TWO AND TABLE	1			
	71352 -- CRAWL TUNNEL BELOW DK 4'	1			
	71437 -- 8'TRESTLE BRIDGE	2			
	71463 -- TRANSFER MODULE 4'-0"	2			
	71475 -- DECK TO DECK STAIR 4'-0"	1			
	71512 -- SQ SLAT ROOF	2			
	71513 -- SLAT BARRIER	9			
	71529 -- 8'-0"ROPE LADDER	1			
	71532 -- HALF HEX SLAT ROOF W/EXT	1			
	71645 -- SPY BARRIER	2			
	71651 -- METAL LEAF CLIMBER	1			
	71894 -- SMALL ALPINE LINK	1			
	71896 -- SINGLE SPIRAL CASCADE SLI	1			
	71928 -- GFRC TREE W/DECK & ROOF	2			
	71930 -- DENALI TOWER BASE	1			
	71939 -- 10' BUBBLE PANEL BARRIER	1			
	71944 -- 12'CURVED TUBE SLIDE	1			
	71948 -- 12' TUBE TO OPEN SLIDE	1			
	71949 -- 12' TUBE TO OPEN-REVERSE	1			
	71964 -- Ground Level In & Out Panel	1			
	71967 -- Ground Level Take A Seat Panel	1			
	71968 -- Shop Panel	1			
	72005 -- Single Velocity Accelerator Slide8'	1			
	72064 -- OLYMPIAN CLIMBER (5'-4",6'-0",6'-8")	1			
	72079 -- TRACKS ACTIVITY PANEL	1			
	72080 -- TREES ACTIVITY PANEL	1			
	72096 -- LOOKOUT SPLIT ENTRY	2			
YP300	MERIDIAN 12 FT PYRAMID TOWER BRIDGE	1	0	\$17,098.00	\$17,098.00
YP308	MERIDIAN LARGE COSMOS BRIDGE	1	0	\$23,454.00	\$23,454.00
YP390	MERIDIAN SQUARE HELIX TOWER NEXUS	1	0	\$94,155.00	\$94,155.00
RDU	5-12 Shaded Swing Set	1	2404	\$19,340.00	\$19,340.00
	65175 -- TWEEN SWING 5"OD	3			
	65180 -- TWEEN MATES SWING 5"	1			
	65223 -- SHADED SWING 2 BAY	1			
RDU	2-5 Early Horizons Play Structure	1	1974.8	\$44,286.00	\$44,286.00

	7202 -- ECHO CHAMBER ASSEMBLY	1			
	68300 -- MINI TRIMAX W/MAX TWIST	1			
	68302 -- BIG ROPE	1			
	68305 -- MINI SPACE STEP	2			
	68306 -- CURVED UPRIGHT-OVERHEAD	2			
	68308 -- STRETCHING RINGS	1			
	68309 -- MINI SEAT PANEL W/AURA	1			
	68310 -- RAIN WHEEL	2			
	68311 -- DRUM LINE	1			
	68316 -- 4'HORIZONS VELOCITY SLIDE	1			
	68317 -- LARGE CABLE CLIMBER	1			
RDU	2-5 Shaded Swing Set	1	2424	\$21,086.00	\$21,086.00
	65173 -- REFLECTIONS SELFIE SWING 5"	2			
	65174 -- SELFIE TOT SWING 5"	2			
	65223 -- SHADED SWING 2 BAY	1			
RDU	Small Ramped Inclusive Structure	1	4265.16	\$53,352.00	\$53,352.00
	60102 -- 5"OD AL UPR W/CAP 6'LG	2			
	60949 -- 5"OD ALUM UPR 7' W/CAP	2			
	61322 -- 5"OD AL UPR W/O CAP 8'LG	3			
	71002 -- ISOSCELES DECK	1			
	71016 -- RAMP DECK TO GROUND	1			
	71031 -- RING CLAMP ASSEMBLY	22			
	71158 -- WORD SCRAMBLE-ADA PANEL	1			
	71385 -- BALCONY DECK	2			
	71502 -- ACCESSIBLE DRIVING PANEL	1			
	72043 -- SM TRAPEZOID DECK	1			
	72060 -- 1' ROCK N WAVE	1			
	72096 -- LOOKOUT SPLIT ENTRY	1			
	72107 -- SPIRE TOPPER	3			
	7355 20" TWO SIDED RAIN	1	21	\$1,742.00	\$1,742.00
	65196 SWIZZLER	1	171	\$3,119.00	\$3,119.00
	66547 SOLO FLYER	1	95	\$1,827.00	\$1,827.00
	67931 INGROUND MOUNT-SPRING	1	28	\$185.00	\$185.00
	65218 INCLUSIVE ORBIT	1	794	\$18,490.00	\$18,490.00
	65275 Double Temple Trolley	1	2423	\$42,265.00	\$42,265.00
	65277 TempleTrolley Belt Seat Package	1	539	\$6,603.00	\$6,603.00
	65278 Temple Trolley Made-For-Me (Yellow)	1	66	\$4,627.00	\$4,627.00
	65280 Button Step 10"	1	26	\$421.00	\$421.00
	67865 CUSTOM FIBERGLASS SIGN 2S	1	81	\$3,702.00	\$3,702.00
	68115 ACTIVITY METER	2	80	\$837.00	\$1,674.00
	71464 SLIDE TRANSFER	1	146	\$3,861.00	\$3,861.00
	71763 ROLLER SLIDE	1	653	\$18,572.00	\$18,572.00
	YP413 HALF SPHERE 14"	3	87	\$630.00	\$1,890.00
	YP414 FULL SPHERE 14"	4	196	\$898.00	\$3,592.00
	YP415 HALF SPHERE 20"	3	105	\$929.00	\$2,787.00
	YP416 FULL SPHERE 20"	6	744	\$1,497.00	\$8,982.00
	YP417 HALF SPHERE 28"	1	167	\$1,527.00	\$1,527.00
	YP418 FULL SPHERE 28"	3	975	\$2,636.00	\$7,908.00
MUSHROOMS	Freenotes Mushroom Inground Ensemble - Includes: Small, Medium, and Large Mushroom	1	0	\$7,349.00	\$7,349.00
BFLY-O-IG	Orange Butterfly - (With Inground Mount Kit)	1	0	\$1,429.00	\$1,429.00
BFLY-I-IG	Indigo Butterfly - (With Inground Mount Kit)	1	0	\$1,429.00	\$1,429.00
FWR-I-IG	Indigo Flower - (With Inground Mount Kit)	1	0	\$1,619.00	\$1,619.00
FWR-Y-IG	Yellow Flower - (With Inground Mount Kit)	1	0	\$1,619.00	\$1,619.00
SND-LG	NatureROCKS SANDSTONE BOULDER - LARGE	1	0	\$27,880.00	\$27,880.00
SND-MD	NatureROCKS SANDSTONE BOULDER - MEDIUM	1	0	\$17,158.00	\$17,158.00
PIP	16,760 SF OF PIP - Scope: POURED IN PLACE. COLOR IS 50/50 BLACK/STANDARD. *COLOR IS 100% FOR MOUNDS. 5.25" THICKNESS FOR 12' CFH. MOUNDS CONSTRUCTED BY OTHERS. INCLUDES GRAPHICS AND LOGOS AS	1	0	\$392,955.00	\$392,955.00

SUBMITTED. - lines on graphics will be a minimum of 4" or thicker; at the discretion of the installer 4" THICK STONE BASE BY OTHERS. OMNIA PRICING INCLUDED. PREVAILING WAGE.

DUMPSTER	DUMPSTER	5	0	\$1,115.00	\$5,575.00
INSTALL	PREVAILING WAGE INSTALLATION	1	0	\$256,165.00	\$256,165.00
	- Install ONLY as per prints provided. Quote Number: 796-167075B. Price includes saw cutting and disposal of 160 footer holes. Workstation - VelocityLT with Recycled Plastic Lumber and Shipping. Vinyl-Wrapped Designated Areas with Customer-Supplied Graphics. Two (2) Bench Backs or table sides. BOGO for graphics.				
DISC	TABLE DISCOUNT	1	0	(\$10,000.00)	(\$10,000.00)
	- _____				
INSTALL	Mounds are a combination of compacted rock aggregate and concrete needed for equipment footers.	1	0	\$17,820.00	\$17,820.00
INSTALL	Dumpster for Install	6	0	\$1,155.00	\$6,930.00
INSTALL	Removal of Existing Surfacing	1	0	\$41,480.00	\$41,480.00
INSTALL	Removal of Existing Equipment	1	0	\$16,500.00	\$16,500.00
INSTALL	Dumpster for Removal	16	0	\$1,155.00	\$18,480.00
CUSTOM	CUSTOM CHESTERFIELD ARCH	1	0	\$4,000.00	\$4,000.00
RDU	Surface Mount Plates	1	134	\$2,542.00	\$2,542.00
	60855 -- 1 5/16"BASE PLATE PKG	2			
	60856 -- 1 5/8"BASE PLATE PKG	2			
	60857 -- 1 7/8"BASE PLATE PKG	1			
	60861 -- 5"BASE PLATE PKG	11			
BOND	PERFORMACNE & PAYMENT BOND FEES	1	0	\$19,521.63	\$19,521.63

Total Weight: 42232.46

SubTotal: \$1,562,186.63

Discount: \$270,172.24

Estimated Freight: \$28,949.17

Total Amount: \$1,320,963.56

Pricing per National IPA / OMNIA Partners Public Sector Contract #R220202. _____ Please reference contract number on your purchase order made out to Play and Park Structures. _____ Taxes not included. If the customer is not exempt, taxes will be added to the total.

THIS QUOTATION IS SUBJECT TO POLICIES IN THE CURRENT PLAY & PARK STRUCTURES CATALOG AND THE FOLLOWING TERMS AND CONDITIONS. OUR QUOTATION IS BASED ON SHIPMENT OF ALL ITEMS AT ONE TIME TO A SINGLE DESTINATION, UNLESS NOTED, AND CHANGES ARE SUBJECT TO PRICE ADJUSTMENT. PURCHASES IN EXCESS OF \$1,000.00 TO BE SUPPORTED BY YOUR WRITTEN PURCHASE ORDER MADE OUT TO PLAY & PARK STRUCTURES, C/O Play & Park Structures of MO.

Pricing: f.o.b. factory, firm for 30 days from date of quotation.

Freight charges: Prepaid & added

Installation: A certified Play & Park Structures Installer is recommended for play equipment installation. Customer shall be responsible for scheduling coordination and site preparation. Site should be level and permit installation equipment access. Purchaser shall be responsible for unknown conditions such as buried utilities, tree stumps, bedrock or any concealed materials or conditions that may result in additional labor or material costs.

Submittals: our design proposal reflects the spirit and intent of the project plans and specifications. While some variations may exist between our quotation and the project design, the differences do not materially affect the intended use. Play & Park Structures designs and specifications are unique and not intended to be identical in all respects to other manufacturers. We shall submit for review and approval by the owner's representative detailed drawings depicting the equipment to be furnished accompanied by specifications describing materials. Once approved, these drawings and specifications shall constitute the final documents for the project and shall take precedence over all other requirements.

Exclusions: unless specifically included, this quotation excludes all site work and landscaping; removal of existing equipment; acceptance of equipment and off-loading; storage of goods prior to installation; equipment assembly and installation; safety surfacing; borders and drainage provisions.



CENTRAL PARK CHESTERFIELD, MISSOURI

796-167075C

PLEASE NOTE: RENDERINGS ARE FOR VISUAL PURPOSES ONLY. ANY PRODUCTS AND/OR SITE DETAILS HEREIN MAYBE SUBJECT TO CHANGE WITHOUT NOTICE.

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structures
A PLAYCORE Company

544 CHESTNUT ST.
CHATTANOOGA, TN 37402
800.727.1907
PLAYANDPARK.COM



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796-167075C

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RESOLUTION NO. _____

A RESOLUTION AUTHORIZING THE CITY OF CHESTERFIELD TO APPLY FOR A MUNICIPAL PARKS GRANT IN ROUND 25 FOR CENTRAL PARK PLAYGROUND REPLACEMENT.

WHEREAS, the city is an expanding municipality in the growing county of St. Louis and,

WHEREAS, the City Council deems it necessary to improve and expand their public parks, recreation and arts to serve the citizens, as well as the traveling public and,

WHEREAS, the Parks, Recreation & Arts department seeks to make improvements at Central Park, to better serve all populations and users,

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:

Section 1. An application should be made to the Municipal Parks Grant Commission of St. Louis County for a grant in aid to fund a playground replacement at Central Park.

Section 2. That a project proposal for Central Park playground replacement be prepared and submitted to the Municipal Parks Grant Commission.

Section 3. If a grant is awarded, the City of Chesterfield will enter into an agreement with the Commission regarding said grant.

Passed and approved this _____ day of _____, 2024.

Bob Nation, Mayor

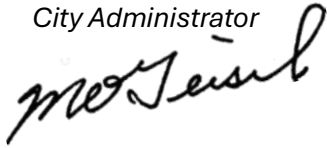
Presiding Officer

ATTEST:

Vickie McGownd, City Clerk

Mike Geisel

City Administrator



690 Chesterfield Pkwy W

Chesterfield MO 63017

Phone 636-537-4711

Fax 636-537-4798

TO: Mayor and City Council

Date: June 21, 2024

RE: Chesterfield Aquatic Facility Replacement Strategy

One of Council's established goals and objectives for 2024 was to create and present a proposed strategy for moving forward with the desired demolition and replacement of the aged City Aquatic facility. This memo includes the strategy for "how we can get there".

The City previously funded a statistically valid community survey to assess the community's desires and expectations regarding the future disposition of the existing facility. That study was conducted by Waters Edge Aquatic Design and Capri Pools and Aquatics. Ultimately the study produced a final report. That report was reviewed by the Parks, Recreation and Arts Citizen's Advisory Committee (PRACAC), the Parks, Recreation and Arts Committee of Council (PRA), and City Council as a whole. The report includes public feedback, summary recommendations, six conceptual scenarios, and opinions of probable cost. On February 2, 2024, City Council voted unanimously to approve the final report as presented and directed staff to develop a strategy for complete replacement of the aquatic facility.

This proposed strategy is provided herein for Council consideration and acceptance. If approved, staff will immediately proceed to prepare a "Request For Proposals" (RFP), soliciting interest, qualifications, and project approach from qualified aquatic design professionals. Please note, selection of a design consultant is based on a qualification-based process. The State of Missouri, and the City of Chesterfield purchasing requirements require that consultants for professional services be selected based on their qualifications and experience, not bid as a commodity.

The proposed scope of work for the design professional includes additional supplemental public engagement, beyond the engagement previously completed by the Waters Edge survey. The design services portion of the strategy is proposed to be funded by the Parks Fund – Fund Reserve. A separate decision regarding engaging an owner's representative will be addressed during the upcoming budget workshops. The subsequent construction financing is not currently addressed, is complicated, and is dependent upon the product produced by the design professional. That product will then be used to develop the proposed strategy to

fund construction. That financing strategy can only be developed after the design and cost estimates have progressed sufficiently to provide adequate information to create a reasonable level of confidence.

Task 1 – develop the vision and concept design plan

Complete citizen survey for aquatic center, including discussion of facility elements. – *completed*

City Council determines plan for future of aquatic center. - *completed*

City Council unanimously agreed to move forward with a planned complete demolition and reconstruction of a community aquatic center, not a destination aquatic center.

City Council directed staff to prepare strategy for reconstruction, including financing proposal. – *IN PROGRESS, THIS IS THE STRATEGY DOCUMENT REQUESTED*

Task 2 – Aquatic Center preliminary design

Seek professional design firm to develop concept plans, construction plans, construction estimates, construction scheduling and provide construction services;

Consider and make a determination as to whether the City should contract with a professional “owner’s representative – contract manager” for this project, or should the City manage the project with “in-house” project management.

Seek City Council approval of strategy and funding for the preliminary design consultants.

For the purposes of this strategy, and using a project construction budget of \$20 million, we can anticipate that the design consultant fees to be ~\$800,000.

Please note, this estimate reflects the cost of services for the design consultant. If the City elects to utilize a project construction manager, those services would be a separate expense, a separate fee and separate contract with an associated expense between \$400k and \$800k, depending on final scope and project timeline.

For the preliminary design services to proceed in a timely manner, to initiate the public engagement process as soon as practicable and to refine the project financial needs as soon as possible which would allow us to identify potential funding mechanisms for the demolition and reconstruction. The professional design services are not an annual operational expense and as such, *I recommend that the aquatic*

design consultant be funded immediately after their selection, by a transfer from the Parks Fund – Fund Reserve. The Parks Fund – Fund Balance is projected to be in excess of \$5 million at the end of 2024 (12/31/2024). While the Parks Fund will have other future capital needs, decisions related to the future of the aquatic facility are an absolute priority due to the age and condition of our existing facilities. The professional services contract would be itemized by activity, e.g. preliminary design & public engagement, design and construction documents, Bidding and award, and finally construction services such that the City would only be obligated for services rendered in the event the City is unable to fund the construction of the project.

I also recommend that when Council approves the fund transfer and design contract, that they express the expectation that the design expense will be reimbursed if funded by debt. While the funding mechanism cannot be determined until a more accurate cost estimate is provided, the City should preserve its ability to be reimbursed for the design services. Such expression does not commit the City to do so, but failure to make such a statement will most certainly limit the City's future ability to be reimbursed.

Initial Project concept level estimates are roughly \$20 million. It must be understood that this is not an actual construction estimate, but simply represents the best information currently available for the project. Budgetary estimates will be provided by the design professionals as the project proceeds.

Staff prepares "Request for proposals" soliciting proposals from professional design firms, with specific expertise in aquatic facility design and operation, to provide these services on behalf of the City. The scope of work will include at least, but not limited to:

Public engagement regarding project elements, not less than three public meetings providing for full public interaction, allowing the public to express their expectations for the new proposed aquatic facility.

Prepare a preliminary aquatic facility plan, based on input from all stakeholders, accompanied by an initial construction estimate (including demolition) and initial schedule for project commencing with the closure of the existing facility and proceeding through construction and opening the new facility for public use. *It should be understood that the preliminary project cost estimates prepared at this phase are not final cost estimates, but will include both design and construction contingencies, as well as project escalation estimates.*

City Council shall consider and provide approval of the concept design and initial project cost estimates before the professional consultant(s) are authorized to move to the construction design\development phase of the project. It should be further understood that the project cost estimates will evolve and be continuously revised as design details, construction methods, schedule and market pricing considerations begin to be resolved.

Task 3 – Aquatic Center Financing (to be done concurrently with Task 4)

Upon approval of the preliminary concept design and cost estimates approved by City Council as referred to herein, task #2, Staff will provide a recommendation to City Council for project funding.

I anticipate that some may suggest that the project financing be committed prior to engaging the design professional and expending funds to define the project components and create a preliminary design. Unfortunately, that is simply not practical. To establish funding, to seek public consent, without a full understanding of the project and the associated costs, cannot end well. The public, as well as the City, must know what the project is and how much it will cost. There are numerous examples of failed projects where communities have proceeded with projects lacking a fundamental knowledge of scope and expense, only to face massive project funding shortfalls and underwhelming project results by not meeting the public expectations.

It must be understood that the City of Chesterfield does NOT have the capacity to fund this project with current revenue streams and a public financing component will likely be required. While it is probable that some portion of the project costs will be offset by other revenues, e.g. TIF, Parks Fund reserves, those funding sources simply are insufficient to fund this project in its entirety. It is impossible to provide a specific financing strategy until the scope, expense, and project timeline is defined.

Finally, this phase of the project will include a public informational campaign\effort, to ensure that the public is fully informed as to the project and costs related thereto. Council may determine that a third-party consultant be engaged to assist in this function.

Task 4 – Aquatic Center construction design and development

This phase of the project will authorize the design consultant to proceed to the design development, construction documents, code compliance, agency approvals, permitting, and refinement of the construction schedule and cost estimates.

During the design and development stage, City officials will consult with neighboring communities to determine whether opportunities exist to negotiate sharing their aquatic facilities during the construction period when the Chesterfield Aquatic facility is out of operation.

Task 5 – Aquatic Center – Approval of Financing

Inasmuch as the financing strategy is to be presented to City Council in Task 3 above, it may require a period for consideration, public engagement, or even a ballot proposal.

Task 6 – Aquatic Center – Advertising, Bidding, and Construction

Once tasks 3 and 4 have been completed, and Financing has been obtained in task 5, the project will be advertised for bids in conformance with statutory requirements. The timing of the bids will consider whether the current aquatic facility is still in operation, and the anticipated duration of construction. There is no opportunity for the current aquatic facility to remain in operation while construction is underway.

Task 7 – Aquatic Center – Facility opening and operation

Under the best conditions, I estimate that the strategy described herein could not be completed and a new facility placed into operation prior to May of 2027. I am concerned that even May 2027 may be overly optimistic. However, even using the 2027 pool season as a target completion date, we face the real possibility that our existing facility may fail prior to the anticipated closure date, leaving us without a community aquatic facility.

We recognize that replacement of the aquatic facility is a major financial decision and will likely require voter approval. We have been discussing the disposition of this facility for several years and quite frankly, we are on borrowed time. Each year we identify additional repairs and maintenance of obsolete components and leaks that must be identified and resolved for the facility to remain open. It should be reasonably expected that we will, in the near future, be confronted with a significant failure, which may result in the permanent closure of the aquatic facility.

I look forward to discussing this with each of you. While this document serves to satisfy one of my established goals and objectives for 2024, more importantly, it describes a process which if approved by City Council, provides direction for staff to move the effort forward. As such, I am forwarding this strategy to both the Parks, Recreation, and Arts Committee, as well as the Finance and Administration Committee, such that they can review and provide their individual recommendations to the full Council for final direction.

Staff recommendation approved 4-0 by PR&A Committee of Council at July 2, 2024 meeting.




7-5-24



Memorandum

To: Mike Geisel, City Administrator

From: TW Dieckmann, Director of Parks, Recreation & Arts 

Date: 6/20/2024

Subject: Central Park forest management

Staff has become aware of a competitive grant opportunity from the Missouri Department of Conservation (MDC), providing 50% reimbursement for woodland management. Specifically, MDC will reimburse 50% of the City's contracted expenses in removing invasive species and planting native grasses. Unlike the City's fiscal year which coincides with the calendar year, this grant program cycle runs from July through June. The woodland area in Central Park, between the playground and Lake suffers from invasive species and limited high value timber. In hopes of leveraging the City's resources, staff solicited bid proposals to perform this work, which requires a four-year work plan. The best bid, in my opinion, was submitted by Native Landscape Solutions (NLS), \$24,190 for year one and a total of \$96,418 for the full four-year work plan. See description herein for a description of the bids.

The MDC grant is an annual competitive program, and we have a high degree of confidence that we will be successful in obtaining the grant for the 2024-2025 fiscal year. The grant program is competitive and funded annually. The City will have to apply in each of the successive program years. Once the City is participating in the program, there is a reasonable expectation of continuing in the program.

I recommend that the City Council authorize a budgetary transfer from the Parks Fund - Fund Reserve in the full amount of the four-year program, \$96,418, and authorize a multi-year contract with Native Landscape Solutions (NLS), both of which are contingent on receiving the 2024-2025 MDC grant which would reimburse half of the City's year one expenditures.

Central Park is the focal point of our park system. It includes a mature, and relatively young forest. It has never had a professional forest management plan. The current forest has undesirable plant species in the understory and on hillsides that lack a forest canopy. These are often referred to as invasive species. They spread, and prevent desirable seeds (oak and hickory for example) from germinating and growing in the understory. This inhibits forest regeneration and future tree succession.

The City lacks available labor, equipment, resources, and professional forest management expertise for this work. I contacted Missouri Department of Conservation (MDC) Forester, Evan Parker, to discuss options and grant opportunities. We met May 9 at Central Park, along with City Arborist, Geoff Wegrzyn, and Park Superintendent, Tony Moore. Forester Parker provided the following recap and initial assessment.

Objectives/Summary: We met to talk about management of the wooded areas at Central Park. It is very visible with high usage, so the aesthetic value to visitors is a priority. Other goals include restoration and management of the forest to maintain a natural character, with an eye towards a more open oak-hickory forest. The first step to reaching these goals will be control of the invasive species found at the site using third party contractors, MDC cost-share, and follow-up work, some of which possibly by in-house staff and/or volunteers. Some sort of herbaceous layer or cover crop should be planted to fill the growing space. In the years following the invasives removal, other forestry activities including thinning and seedling planting could occur to help move the forest through natural succession.

Existing Conditions: The focus wooded areas include the slope between parking lot/playground and the lake. This area is crossed by a number of paved walking trails, as well as a stream. The wooded areas are currently dominated by early succession species. These include white ash, redcedar, flowering dogwood, persimmon, sassafras, black cherry, and hackberry. The lower areas have more oaks, particularly black and shingle oaks. These early succession species are not inherently undesirable and some, such as persimmon, redcedar, and black cherry, have significant wildlife value. However, there is very little regeneration occurring in the forest, preventing the emergence of long-lived, valuable species such as oaks. This issue is worsened by the presence of a number of woody invasive species. Bush honeysuckle is the worst, but it is mostly relatively young and less than 5 feet tall. There are few large, strongly established individuals. Autumn olive is present primarily along walking trails. Callery pear is found in the more open areas along the stream. There is little groundcover present other than the bush honeysuckle.

Invasive Species Management: The first and most crucial step is to control the invasive species present in the area. Any other management activity done without adequate control will simply result in the further spread of invasives. All invasive species present at the site need to be controlled, not only the following three which are the most common.

- **Bush Honeysuckle:** The honeysuckle present is mostly too small for methods involving cutting, so foliar treatment would likely be the best approach. Foliar spraying should be done in late fall or early spring, when honeysuckle has leaves but native plant species do not. This ensures that spraying will only impact the invasive – unintentionally killing native vegetation will simply aid the return of honeysuckle in the next growing season.
- **Autumn Olive:** Autumn olive is mostly present along the trails and is much less abundant than honeysuckle. Nonetheless, it is essential to control autumn olive now to avoid it worsening, especially when growing space increases due to the killing of the honeysuckle. The recommended practice for autumn olive is to cut the stem, and immediately treat it with glyphosate. This works best if done in the growing season, but can happen at any time of year.
- **Callery Pear:** Pear was mostly found in the open areas along the stream and hillside. For large trees, cut them down and immediately apply glyphosate to the cut stump. For smaller trees, I recommend a foliar spray of glyphosate. Cut stump treatment is best performed in fall or winter. Foliar spraying must occur during growing season. Care should be taken to avoid spraying non-target species to assist in long-term replacement by native vegetation.

It is best to contract this work due to the high volume of invasives. Due to the likely abundant seedbank, it is important to be vigilant and conduct follow-up maintenance each year. At that point, targeted foliar spraying of young plants is the best approach.

Planting: Once the invasive species are killed, it is essential to fill that growing space. This is particularly true due to the sparse groundcover. In the first year, it is best to spread a mixture of native grass seeds in the treated area. Suggested species include river oats, Virginia wild rye, Canada wild rye, bottlebrush grass, American break grain, and Canada brome. I can provide more detailed specification of species mixes and seed quantity later on. Given that there will likely be a need for follow up herbicide treatment, seeding only grasses (which wouldn't be affected by the herbicide) is the best investment. Grass seed also has a less strict window of seeding, needing to be spread by mid-March. Forbs/wildflowers would need to be sown earlier, and would be adversely affected by herbicides. The process simply involves broadcasting the seed on the ground at a specified density.

Future Work: The first step of improving forest management is invasive species control, but there is plenty of work to be done after that. After controlling invasives and planting native groundcover, we could develop a plan for improving the forest. This could involve planting trees (mostly oaks and hickories) since there is very little regeneration present. Most regeneration will continue to be invasives or early succession species currently dominating the canopy. Thinning the canopy by removing some existing trees may also be necessary. Flowering understory trees could be planted to improve aesthetic value. MDC would likely be able to provide cost-share funding for future work as well.

The Cost-Share Process: Chesterfield is eligible for 50% reimbursement for both invasive species control and native grass establishment. Reimbursable expenses include contractor labor, supplies, and some equipment rental/purchase. Non-reimbursable expenses that could be used for your match include administrative costs, volunteer or employee labor, and in-kind/donated supplies or equipment. All expenses must be documented (receipts/paid invoices submitted to me). Only expenses accrued after the agreement is signed are eligible for reimbursement. We could sign an agreement as early as July 2024. All work will need to be done and paperwork submitted by the end of April 2025. MDC requires either signage at the site or two different publicity measures (social media, website, newsletters).

Next Steps: MDC's fiscal year is July 1 – June 30, so that's the time frame we'd be looking at for this project. The contracted invasives species control work would be completed from summer through winter, as described for individual species. Seed would be spread in mid/late winter after the completion of invasive species treatments. Things we need to get started on include: a map of the area (preferably outlining the areas prioritized for work) and an estimated budget. The budget needs to include contractor bids for the invasives treatment and native planting costs. Please include any costs expected to be used as match. My team strongly likes to see the value of these projects to people, so I welcome information on how volunteers may be engaged, educational signage we could put up, etc.

The main contractor who handles this kind of work is Native Landscape Solutions. Other suggestions include Americorps STL, DJM, or Confluence Habitats. There are a number of smaller operations as well.

I'm excited by the potential of this project, and look forward to seeing it come together. Please let me know if you have any questions."

City staff solicited three proposals for removing invasive species and establishing native grasses.

Go Green!	\$109,180.33 (one year proposal)
DJM	\$ 23,690.00 (one year proposal)
Native Landscape Solutions	\$ 24,190.00 (year one)

I recommend contracting with Native Landscape Solutions (NLS). I request it be placed on the next PR&A Committee agenda. If approved, it would then go to City Council as a whole for consideration. I will ask them to appropriate \$96,418 to account 119-084-5251 (contractual services) from Parks Fund – Fund Reserves for this four-year plan. If approved, a Purchase Order (PO) would be created, and carried over year to year until work is completed. The NLS proposal is only \$500 more than DJM, but provides a more comprehensive and multi-year approach based on science, seasonal considerations, and professional forest management practices. NLS also has a great reputation for doing this kind of work. Attached are the three proposals. According to city purchasing procedures, purchases between \$10,000-25,000 require City Administrator and Director of Finance & Administration approval. Please let me know if you have any questions.

Please forward to PR&A Committee for review and recommendation.

 2024-6-25

Staff recommendation approved 4-0 by PR&A Committee of Council at July 2, 2024 meeting.

 7-5-24



City of Chesterfield, Missouri

Central Park

Native Stewardship Strategy

2024-2027



developed by:

Native Landscape Solutions, Inc

9850 Gravois Road

Afton, Missouri 63123



Native Stewardship Strategy

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Native Stewardship Strategy

Introduction: The City of Chesterfield, Missouri is a growing community of approximately 50,000 population. The City has dedicated significant resources and time to develop a robust park, recreation and arts department to meet the needs of their residents. The City of Chesterfield continues to be successful in creating, programming and maintaining recreation facilities which meet the needs of the community. Perhaps no other park within the City system has come to represent the diversity and width of opportunities for residents the City has to offer more than Central Park. Central Park hosts the City Amphitheater, City Aquatic facility, outdoor playground and multiple trails through the rolling countryside of Chesterfield. Central Park serves as a hub for recreation activities in the department creating meaningful opportunities for residents to achieve the exercise and cultural health needs.

Narrative: Central Park in the City of Chesterfield, Missouri is uniquely tucked into the rolling countryside of central Chesterfield. The park is interlaced with a series of pathways and walks offering residents a passive recreational outlet. These pathways are surrounded by a regenerating native plant environment. Good portions of the area were planted originally with native trees, grasses and forbs. There is a dominating non native invasive species component which is beginning to over take the overall site. Depending upon which of the five areas, the non native invasive component differs in species but has no less of a negative impact on the current and future conditions. If left unchecked these species will crowd out the desirable species and impact the quality of pollinator services the park can provide. Thus, the reason for this proposal being requested by the City of Chesterfield Parks Department. The NLS team can assist and engage both park staff and volunteers in the process of improving the Central Park. Staff and citizen buy in are great indicators in the long term success of this park and other facilities in the City of Chesterfield. Specifically the native seeding and on going stewardship tasks are ideal for engaging both City staff and volunteers.

Native Landscape Solutions, Inc. has done a quick inventory of each of the five sites to identify the presence of which non native invasive species are impacting the park. We have also identified a series of methods we believe represent the current best practices in the management of non native invasive species and best practices of stewardship moving forward.

Native Stewardship Strategy

Methods

Cut, Treat & Chip: This method is designed to target larger plant material in the park which needs to be removed. Specifically shrubs larger than 1” in diameter up to trees up to 6” in diameter. Larger trees are not included in this method. Smaller shrubs can be successfully treated with other methods. Plant material will be reduced to a manageable size for production crews to handle. The final cut will be a flush cut within three inches of the ground. Within fifteen minutes of the final cut the woody stump will be treated with a herbicide to kill the root system. Selected herbicide and application rate will be submitted to the City prior to herbicide application.

Basal Treatment: This method can be used to target all woody invasive plant material. Typically it is not used for plants which are bigger than four inches in trunk diameter. This method requires application of a high concentration herbicide to woody stems from the ground level to thirty inches up on the trunk/stem. The stem is to be treated completely-all sides– to the point of coverage but not runoff. Herbicide will be mixed with a bark penetrant to increase efficacy of application. A spray colorant will be added to the herbicide mix to increase applicator accuracy. Selected herbicide and application rate will be submitted to the City prior to herbicide application. Basal treatment is best used in the fall after leaf drop (November-January).

Foliar Treatment: This method is ideal for treatment of invasive weeds and smaller shrubs within the park. Selected herbicide is applied to the leaf surfaces of target invasive species. Herbicide is mixed with a “sticker” to increase herbicide adhering to the leaf surface. Methylated seed oil is an ideal product to function as the “sticker” for this application. A spray colorant will be added to the herbicide mix to increase applicator accuracy. Selected herbicide and application rate will be submitted to the City prior to herbicide application. This method can be used during the growing season with judicious treatments by the applicator or late season to target invasive species with persistent leaves prior to winter time.

Native Stewardship Strategy

Methods

Grass & Sedge Seeding: Native seeding is to be completed during the winter months of November– February. Grass & Sedge Seeding is specific to the use of only native warm & cool season grasses, sedges & rushes. This seed mix generally includes no less than five species specific to either a heavy shade woodland environment or a full sun savannah environment. The methodology is chosen to allow for the natural seed catch of invasive species to germinate and then be controlled. Most all of the invasive targets with Central Park are broadleaf in nature. Thus a selective broadleaf herbicide can be utilized to treat and manage the resprouts and newly emerged invasive species while still being able to start establish a more robust native plant community. The seed rate for this mix will range from 3-4# per acre.

Forb Seeding: Native seeding is to be completed during the winter months of November– February. Forb, native flowering species, seeding is specific to the use of a broad species list of flowering native plants. These seed mixes generally include 20-35 species depending upon the specific environment being seeded. For Central Park, recommendations for seed mixes will include three unique seed mixes: Savannah, Woodland & Riparian. Forb Seeding generally takes place the second winter period after a non native species removal project. Allowing for an extra growing season to take place allows for increased control of non native species in addition to allowing for any remnant forb species to re-emerge on the site. The seed rate for these mixes ranges form 10-12# per acre.

Stewardship: Stewardship services include weeding, pruning, height control mowing, and herbicide application. Through out the growing season non native and non desirable weed species germinate and begin growing. Stewardship services include a boots on the ground method of walking the entire project site on each visit. Technique to be employed by the stewardship crew is dependent upon the time of the year, non desirable species and limiting of non native seed sources. The NLS stewardship team can be available for training and mentoring City Park staff and volunteers if needed.

Native Stewardship Strategy

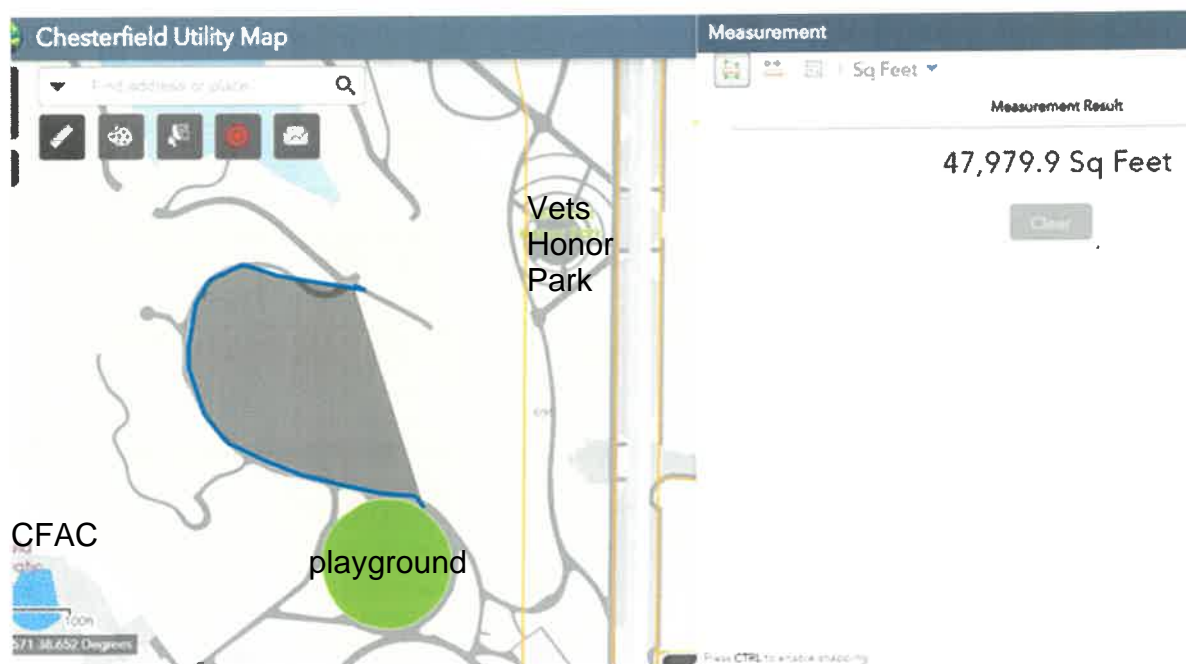
Scope of Work

In an effort to review the entire scope of work we have broken out our discussion based on the areas identified by City staff in there plans forwarded to us. We have added names to each of the five components for discussion and scope of work purposes.

The Playground Knoll: (47,980 sf) This area of the park is just North of the existing playground. This knoll has a mature canopy of native tree species with an apron of invasive Bush Honeysuckle, Sericea Lespedeza, and Russian Olive. The interior of the site has limited small Bush Honeysuckle emerging throughout. The size of the invasives around the margin we would recommend using the Cut, Treat & Chip methodology. The interior of the site could be treated with a foliar spray method late in the season. This foliar treatment could also be used during follow up stewardship visits to control resprouts and newly emerged invasive plant material. Future improvements to this area could be the seeding of native grasses and sedges followed up the following season with seeding of native woodland wildflowers.

See attached schedule for task pricing and scheduling.

Limits of the area are highlighted in grey.



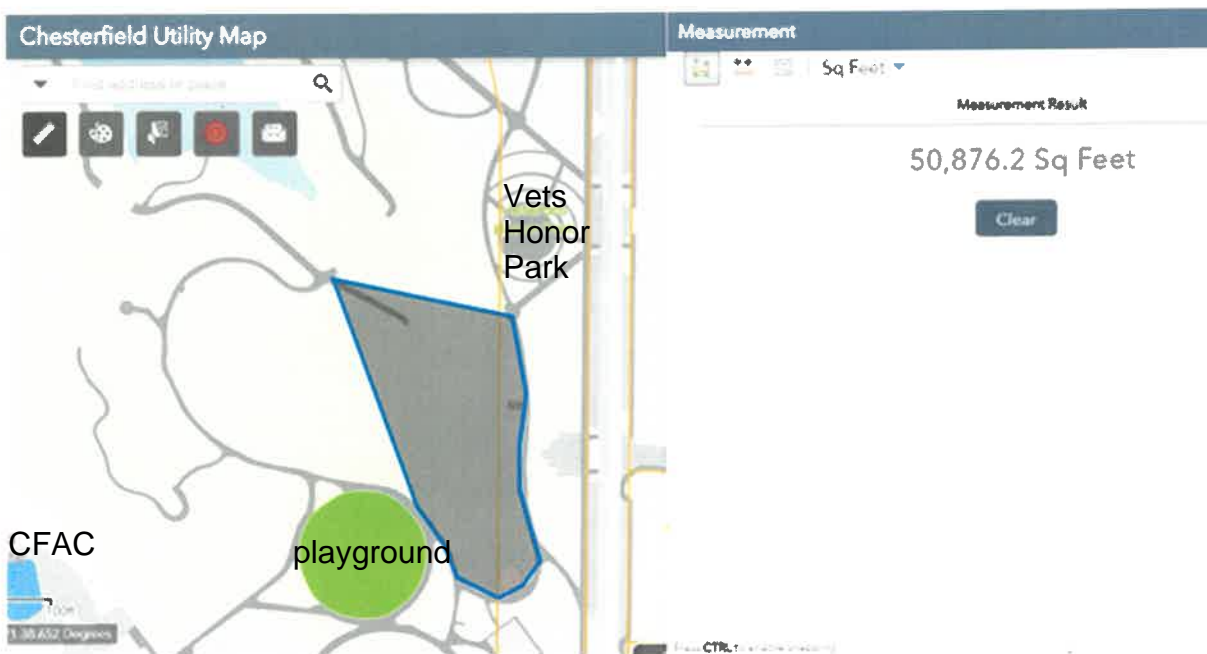
Native Stewardship Strategy

Scope of Work

The Box Office Overlook: (50,876 sf) This area contains the riparian corridor and the Flow Sculpture. This area is a mix forest and savannah with a riparian corridor descending to the lake. This area contains a large number of invasive species including large Callery Pear, Bush Honeysuckle, Autumn Olive, Sericea Lespedeza, Common Privet, Multiflora Rose, Japanese Honeysuckle and Boxelder. We would recommend using the Cut, Treat & Chip method in this area. The existing Callery Pear and large Bush Honeysuckle contribute to the annual seed load of invasive species significantly. It could be followed up with a foliar application to address the invasive perennial species. With a little work this area could be opened up to give residents a view of the riparian corridor from the box office walkway. In addition, if some of the larger volunteer Cottonwood and Sycamore trees were limbed up or removed they would open a view of the lake. Future improvements to this area could be the seeding of native grasses and sedges followed up the following season with seeding of native savannah wildflowers.

See attached schedule for task pricing and scheduling.

Limits of the area are highlighted in grey.



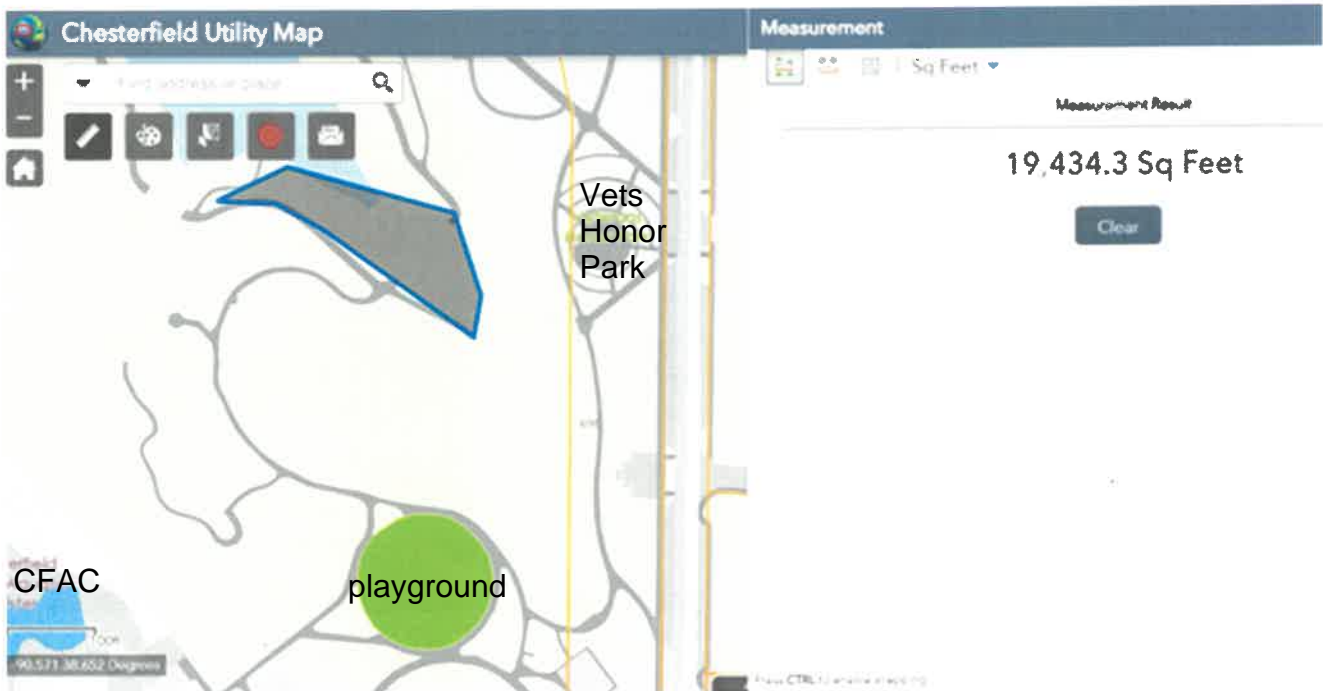
Native Stewardship Strategy

Scope of Work

Amphitheatre Lake SW Apron: (19,434 sf) This area of Central Park is bordered by paved trails and the lake edge. This section has a rich riparian edge to the lake with a good native plant community. There are several unique populations of Lead Plant and Blackberries along the pathway. It is negatively impacted by Bush Honeysuckle, Callery Pear, Walnut and Sericea Lespedeza. Removal and control of these non native or non desirable invasive species will maintain the view of the lake and further allow for the development of the existing native plant community. Future improvements to this area could be the seeding of native grasses and sedges followed up the following season with seeding of native riparian wildflowers. Native seed species mix could be uniquely tailored to add complimentary species to the existing native plant community.

See attached schedule for task pricing and scheduling.

Limits of the area are highlighted in grey.



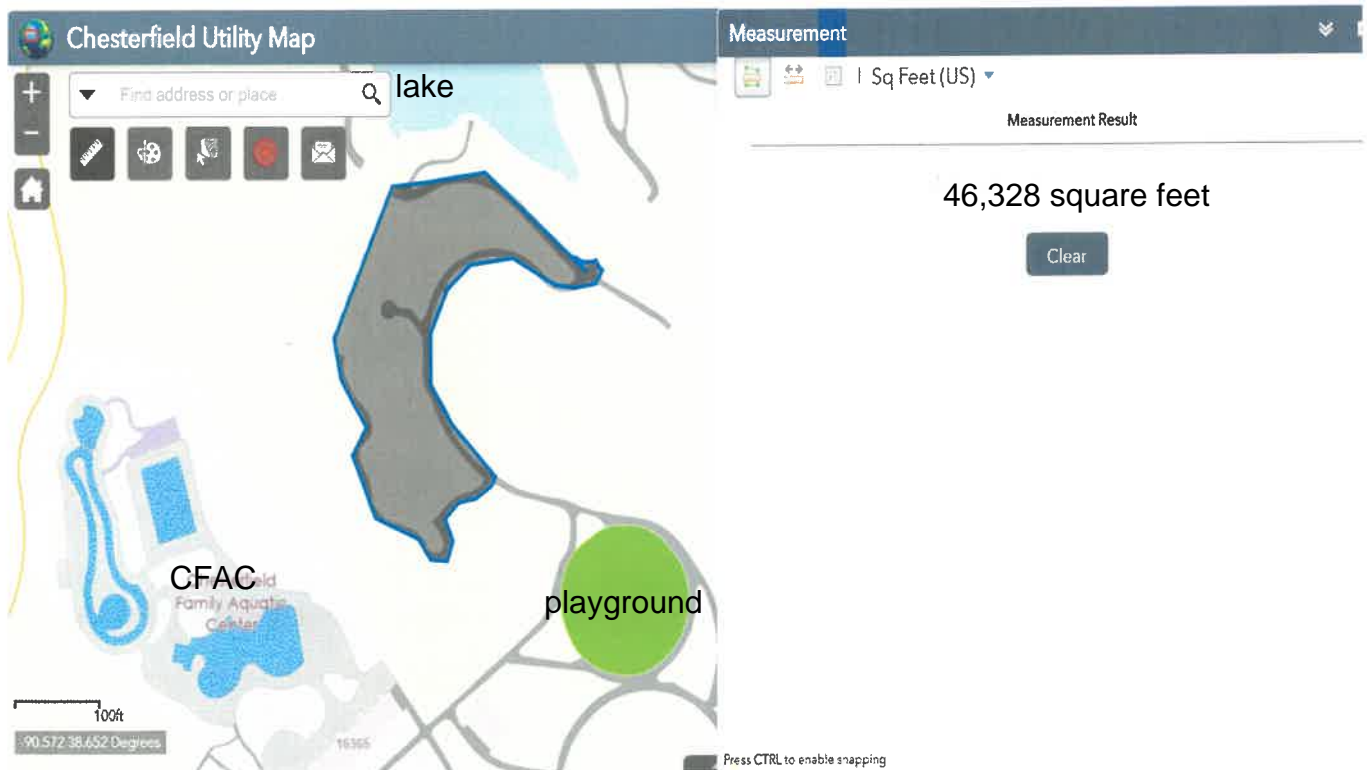
Native Stewardship Strategy

Scope of Work

Aspire Sculpture Riparian Woodland: (46,328 sf) This area of the park is dominated by an interactive riparian corridor. The riparian corridor is a heavily used attraction within the park with lots of pedestrian trails interwoven along the corridor. The Aspire Sculpture overlooks the riparian corridor and is placed in a fairly open woodland. There is a very manageable non native invasive population throughout this area. Clearing the Eastern edge of the riparian corridor and surrounding slopes would increase the view of the riparian corridor from the existing concrete pathway.

See attached schedule for task pricing and scheduling.

Limits of the area are the highlighted in grey.



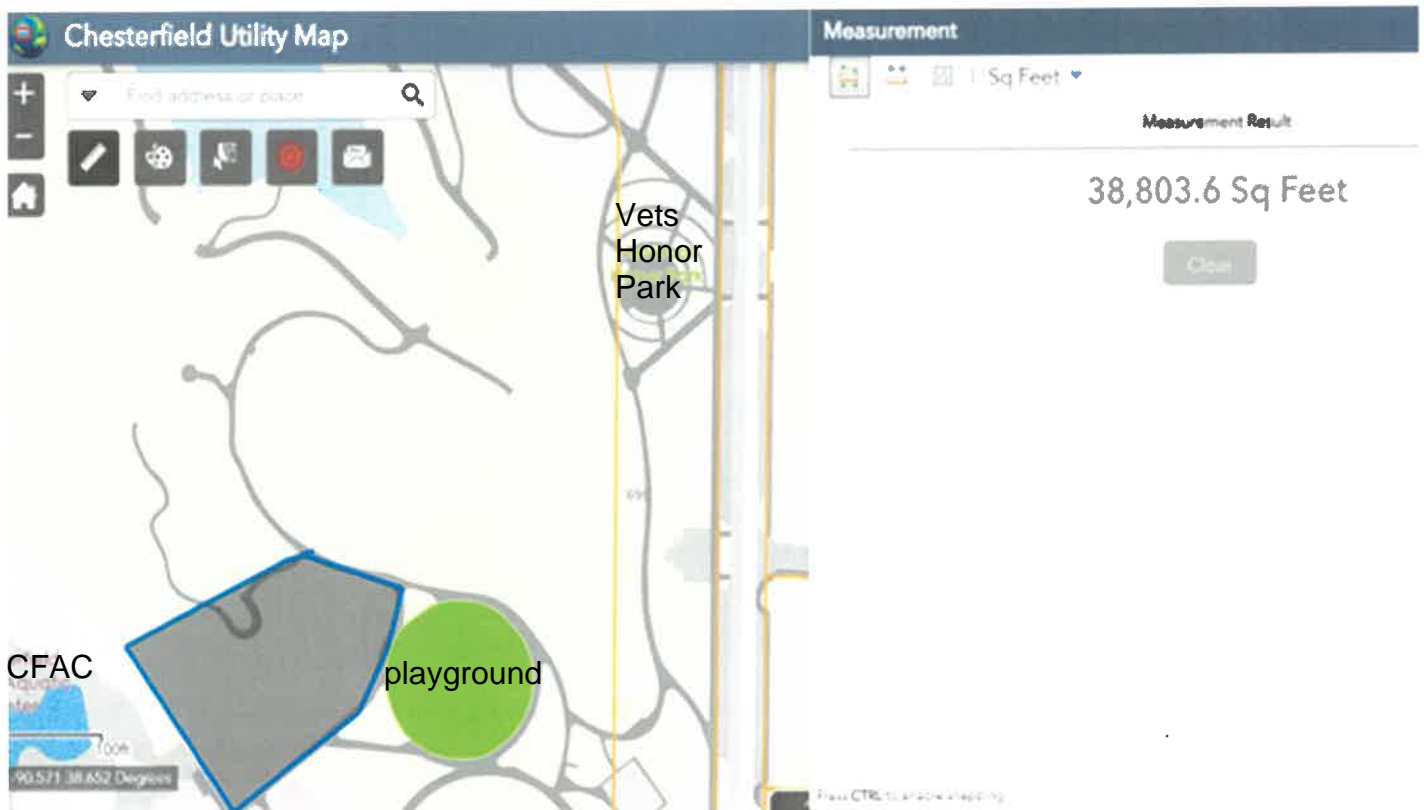
Native Stewardship Strategy

Scope of Work

Aquatic Center Apron: (38,803 sf) This area of the park adjoins the aquatic center perimeter fence to the southwest and abuts the riparian corridor and playground area. These edges of the area are impacted by large Bush Honeysuckle and Autumn Olive. Cut, treat and chip would be the recommended method for these invasives. Smaller invasives and Sericea Lespedeza can be treated with a targeted foliar application. This area will benefit from future seeding of native grasses, sedges and forbs to enrich the native plant community.

See attached schedule for task pricing and scheduling.

Limits of area are highlighted in grey.



Native Stewardship Strategy

Pricing Format by Year

2024

<u>Location</u>	<u>Activity</u>	<u>Month</u>	<u>Cost</u>
The Playground Knoll:	Cut, treat & Chip:	August	\$ 7,700.00
	Foliar Application	November	\$ 2,485.00
	Native Grass Seeding	December	\$ 1,840.00
Box Office Overlook:	Cut, treat & Chip:	August	\$ 7,700.00
	Foliar Application	November	\$ 2,485.00
	Native Grass Seeding	December	\$ 1,840.00

2025

<u>Location</u>	<u>Activity</u>	<u>Month</u>	<u>Cost</u>
The Playground Knoll:	Stewardship	April, June & August	\$ 1,884.00
	Native Forb Seeding	December	\$ 3,840.00
Box Office Overlook:	Stewardship	April, June & August	\$ 1,840.00
	Native Forb Seeding	December	\$ 3,840.00
Aqua Center Apron:	Cut,treat & Chip	February	\$ 6,270.00
	Foliar Application	November	\$ 2,175.00
	Native Grass Seeding	December	\$ 1,840.00
Amphitheatre Lake:	Cut,treat & Chip	February	\$ 3,720.00
	Foliar Application	November	\$ 1,240.00
	Native Grass Seeding	December	\$ 1,090.00
Aspire Sculpture Area:	Cut,treat & Chip	August	\$ 7,700.00
	Foliar Application	November	\$ 2,485.00
	Native Grass Seeding	December	\$ 1,840.00

Native Stewardship Strategy

Pricing Format by Year

2026

<u>Location</u>	<u>Activity</u>	<u>Month</u>	<u>Cost</u>
The Playground Knoll:	Stewardship	April, June & August	\$ 1,884.00
	Foliar Application	November	\$ 1,125.00
Box Office Overlook:	Stewardship	April, June & August	\$ 1,840.00
	Foliar Application	November	\$ 1,125.00
Aqua Center Apron:	Stewardship	April, June & August	\$ 1,674.00
	Foliar Application	November	\$ 1,240.00
	Native Forb Seeding	December	\$ 3,625.00
Amphitheatre Lake:	Stewardship	April, June & August	\$ 1,884.00
	Foliar Application	November	\$ 625.00
	Native Forb Seeding	December	\$ 1,850.00
Aspire Sculpture Area:	Stewardship	April, June & August	\$ 1,884.00
	Foliar Application	November	\$ 1,125.00
	Native Forb Seeding	December	\$ 3,840.00

Native Stewardship Strategy

Pricing Format by Year

2027

Location	Activity	Month	Cost
The Playground Knoll:	Stewardship	April, June & August	\$ 1,944.00
	Foliar Application	November	\$ 1,235.00
Box Office Overlook:	Stewardship	April, June & August	\$ 1,944.00
	Foliar Application	November	\$ 1,235.00
Aqua Center Apron:	Stewardship	April, June & August	\$ 1,725.00
	Foliar Application	November	\$ 1,45.00
Amphitheatre Lake:	Stewardship	April, June & August	\$ 1,884.00
	Foliar Application	November	\$ 655.00
Aspire Sculpture Area:	Stewardship	April, June & August	\$ 1,944.00
	Foliar Application	November	\$ 1,475.00



NATIVE LANDSCAPE SOLUTIONS, INC.

OUR ROOTS RUN DEEP

**City of Chesterfield
Central Park**

Stewardship calendar/costs

6/19/2024

Stewardship 2024

	Acres	Cost/year	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
The Playground Knoll	47,980 sf	\$12,095								\$7,770			\$2,485	\$1,840
Box Office Overlook	50,876 sf	\$12,095								\$7,770			\$2,485	\$1,840
Aqua Center Apron	38,803 sf	\$0												
Amphitheatre Lake SW Apron	19,434 sf	\$0												
Aspire Sculpture Woodland	46,328 sf	\$0												
Total for 2024		\$ 24,190.00								\$15,540			\$4,970	\$3,680

Stewardship 2025

	Acres	Cost/year	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
The Playground Knoll	47,980 sf	\$5,724				\$628		\$628		\$628				\$3,840
Box Office Overlook	50,876 sf	\$5,724				\$628		\$628		\$628				\$3,840
Aqua Center Apron	38,803 sf	\$10,285		\$6,270									\$2,175	\$1,840
Amphitheatre Lake SW Apron	19,434 sf	\$6,050		\$3,720									\$1,240	\$1,080
Aspire Sculpture Woodland	46,328 sf	\$12,095								\$7,770			\$2,485	\$1,840
Total for 2025		\$ 40,573.00		\$9,990		\$1,256		\$1,256		\$9,026			\$5,900	\$12,450

Stewardship 2026

	Acres	Cost/year	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
The Playground Knoll	47,980 sf	\$3,009				\$628		\$628		\$628			\$1,125	
Box Office Overlook	50,876 sf	\$3,009				\$628		\$628		\$628			\$1,125	
Aqua Center Apron	38,803 sf	\$6,539				\$558		\$558		\$558			\$1,240	\$3,625
Amphitheatre Lake SW Apron	19,434 sf	\$3,615				\$380		\$380		\$380			\$625	\$1,860
Aspire Sculpture Woodland	46,328 sf	\$6,849				\$628		\$628		\$628			\$1,125	\$3,840
Total for 2026		\$ 20,012.00				\$2,822		\$2,822		\$2,822			\$5,240	\$9,315

Stewardship 2027

	Acres	Cost/year	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
The Playground Knoll	47,980 sf	\$3,179				\$648		\$648		\$648			\$1,235	
Box Office Overlook	50,876 sf	\$3,179				\$648		\$648		\$648			\$1,235	
Aqua Center Apron	38,803 sf	\$3,175				\$575		\$575		\$575			\$1,450	
Amphitheatre Lake SW Apron	19,434 sf	\$1,870				\$405		\$405		\$405			\$655	
Aspire Sculpture Woodland	46,328 sf	\$3,419				\$648		\$648		\$648			\$1,475	
Total for 2027		\$ 11,643.00				\$2,924		\$2,924		\$2,924			\$6,050	



PUBLIC HEALTH AND SAFETY COMMITTEE

Chair: Councilmember Aaron Wahl

Vice Chair: Councilmember Merrell Hansen

- A. Proposed Resolution No. 500 – Flock Camera Installation:** The Public Health and Safety Committee recommends approval of the proposed resolution which authorizes the execution of an agreement with St. Louis County for installation of a Flock camera within St. Louis County Right of Way. **(Roll Call Vote)**

- B. Proposed Bill No. 3511 – Regulation of Hemp Based Products:** The Public Health and Safety Committee unanimously endorsed a proposed ordinance to restrict the sale of Hemp Derived Intoxicants. **(First & Second Reading)**

- C. Proposed Bill No. 3512 – Regulation of KRATOM products:** The Public Health and Safety Committee unanimously endorsed passage of a proposed ordinance to restrict the sale of Kratom products to anyone under the age of 21 unless prescribed by a licensed healthcare provider. **(First & Second Reading)**

- D. Parkway School District SRO Contract:** The Public Health and Safety Committee unanimously endorsed the renewal of the agreement for providing School Resource Officers. **(Roll Call Vote)**

- E. Next Meeting – not yet scheduled**

NEXT MEETING

The next meeting of the Public Health and Safety Committee is not yet scheduled.

If you have any questions or require additional information, please contact Chief Cheryl Funkhouser or me prior Monday's meeting.

A RESOLUTION APPROVING AN AGREEMENT WITH ST. LOUIS COUNTY, MISSOURI REGARDING THE PLACEMENT OF LICENSE PLATE RECOGNITION CAMERAS WITHIN THE RIGHTS-OF-WAY MAINTAINED BY ST. LOUIS COUNTY WITHIN THE CITY OF CHESTERFIELD, MISSOURI

WHEREAS, the City of Chesterfield (the “City”) Police Department entered into a Services Agreement (the “Agreement”) with Flock Group Inc. (“Flock”) on May 10, 2022, to install license plate recognition cameras within the City, and the City desires to amend its agreement with Flock to authorize the installation of additional license plate recognition cameras; and

WHEREAS, some of the locations where such cameras can be most effective within the City are along roadways owned and maintained by St. Louis County, Missouri (the “County”); and

WHEREAS, the Police Department has been informed that the City will need to enter into an agreement with the County to install cameras along rights-of-way maintained by the County; and

WHEREAS, City staff believes that the placement of additional license plate recognition cameras at strategic locations, including along County roads, will improve the Police Department’s ability to deter and investigate crime and enhance public safety; and

WHEREAS, the Public Health and Safety Committee of the City hereby finds that the placement of the additional license plate recognition cameras within rights-of-way maintained by the County would be in the best interest of the City.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY OF CHESTERFIELD, MISSOURI, AS FOLLOWS:

1. An agreement with St. Louis County, Missouri to allow the placement of license plate recognition cameras within rights-of-way maintained by the County is hereby approved in substantially the same form as in the City’s original Flock Services Agreement.
2. The Chief of Police, City Administrator, and City Attorney are hereby authorized to execute any such documents and to take such other actions as may be reasonably necessary to approve the Agreement and to carry out the intent of this Resolution.
3. This Resolution shall be in full force and effect from and after its passage and approval as provided by law.

This Resolution passed and approved on this ____ day of _____, 2024.

PRESIDING OFFICER

MAYOR BOB NATION

ATTEST:

CITY CLERK
VICKIE MCGOWND

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI, IMPOSING A MINIMUM AGE FOR THE PURCHASE AND SALE OF HEMP-DERIVED INTOXICANTS WITHIN THE CITY, AND ENACTING A NEW SECTION OF CHAPTER 210 RELATED THERETO.

WHEREAS, the City of Chesterfield, Missouri (the “City”) recognizes that the federal 2018 Farm Bill, Missouri 2018 House Bill 2034, and Missouri 2019 Senate Bill 133 (collectively the “Hemp Legalization Laws”) have legalized the cultivation, production, distribution, and sale of hemp by removing hemp from the Controlled Substances Act so long as the hemp and hemp-derived products contain no more than 0.3 percent THC by dry weight; and,

WHEREAS, these hemp-derived products, while less than 0.3 percent THC by dry weight, can still contain enough intoxicating cannabinoids, such as Delta 8, Delta 9, or Delta 10 THC, to cause psychoactive effects (i.e., impairing or mind-altering) in those that consume these hemp-derived products; and,

WHEREAS, hemp-derived products which contain intoxicating cannabinoids, unlike medical and adult-use marijuana products which are comprehensively regulated by the State, are unregulated with respect to product testing, minimum age to purchase, and where these products may be sold, which has resulted in hemp-derived products being sold at CBD stores, tobacco stores, vape shops, gas stations, and liquor stores; and,

WHEREAS, certain hemp-derived products have been designed to resemble popular snacks and candy brands and are being marketed primarily to minors while containing upwards of 5,000 mg of THC per container (more than double the legal limit for THC found in adult-use marijuana); and,

WHEREAS, hemp-derived products can pose a threat to the health and safety of minors, that can result in hospitalization of users, by causing uncoordinated movements, changes in heart rate, low blood pressure, difficulty breathing, sedation, and other adverse effects; and,

WHEREAS, the City finds it necessary to enact regulations related to the sale of intoxicating cannabinoids found in hemp-derived products to protect the general public health, safety, and welfare, and specifically to protect those under the age of twenty-one from the adverse effects associated with the consumption of intoxicating cannabinoids; and,

WHEREAS, the City, by this Ordinance, does not condone, authorize, or approve of the sale of intoxicating hemp-derived products to adults, but recognizes the need to engage in greater study of their effects on adults prior to regulation;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:

Section I: Section 210.1940 of the City of Chesterfield Municipal Code shall be adopted as follows:

A. As used in this section, the following definitions shall apply:

CBD

Cannabidiol, a nonintoxicating cannabinoid found in cannabis and hemp.

CANNABINOIDS

Ligands that are either plant-derived, synthetic, or semisynthetic, and have an affinity for and activity at cannabinoid receptors.

HEMP

The plant *Cannabis sativa* L. and any part of that plant, including the seeds thereof and all derivatives, extracts, cannabinoids, isomers, acids, salts, and salts of isomers, whether growing or not, with a delta-9 tetrahydrocannabinol concentration of not more than 0.3 percent on a dry weight basis.

HEMP-DERIVED INTOXICANTS

Any Intoxicating Cannabinoids which have been derived, developed, processed, manipulated, converted, isomerized, and/or otherwise created from Hemp.

INTOXICATING CANNABINOIDS

Any cannabinoid, however derived or created, that has an intoxicating effect when consumed or otherwise ingested, irrespective of whether the cannabinoid was created or developed through natural means or through chemical conversion, isomerization, synthetic derivation, heat, or any other process by which molecules may be manipulated or any cannabinoid, semisynthetic or synthetic cannabinoid, or precursor to an intoxicating cannabinoid that may become intoxicating when heated, decarboxylated, or otherwise manipulated, excluding, without limitation, CBD.

INTOXICATING HEMP-DERIVED PRODUCTS

Any product which contains Hemp-Derived Intoxicants, excluding, without limitation, CBD.

- B.** Providing Intoxicating Hemp-Derived Products To Minors - Unlawful.
- 1.** No person shall procure for, sell, vend, give away or otherwise supply any Intoxicating Hemp-Derived Products in any quantity whatsoever to any person under the age of twenty-one (21) years.
 - 2.** It shall be a defense to prosecution under Section 210.1940(B)(1) that the defendant sold the Intoxicating Hemp-Derived Products to the minor with reasonable cause to believe that the minor was twenty-one (21) or more years of age and the person exhibited to the defendant a driver's license, Missouri non-driver's identification card, or other official or apparently official document, containing a photograph of the minor and purporting to establish that such minor was at least twenty-one (21) years of age.
- C.** Misrepresentation Of Age To Obtain Intoxicating Hemp-Derived Products.
- 1.** No person under the age of twenty-one (21) years shall represent, for the purpose of purchasing, asking for or in any way receiving any Intoxicating Hemp-Derived Products, that he/she has attained the age of twenty-one (21) years, except in cases authorized by law.
 - 2.** In addition to Subsection (C)(1) of this Section, no person under the age of twenty-one (21) years shall use a reproduced, modified or altered chauffeur's license, motor vehicle operator's license, identification card issued by any uniformed service of the United States, passport or identification card established in Section 302.181, RSMo., for the purpose of purchasing, asking for or in any way receiving any Intoxicating Hemp-Derived Products.
- D.** No person under the age of twenty-one (21) years shall purchase or attempt to purchase, or have in his/her possession, any Intoxicating Hemp-Derived Products.
- E.** Intoxicating Hemp-Derived Products may only be displayed for sale in such a manner that a person cannot have possession of the Intoxicating Hemp-Derived Product prior to the sale of the Intoxicating Hemp-Derived Product.
- F.** It is the intent that each and every subsection of Section 210.1940 shall be severable from every other section.

Section II: This ordinance shall be codified within the Municipal Code of the City of Chesterfield.

Section III: This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2024.

Presiding Officer

Bob Nation, Mayor

ATTEST:

Vickie McGownd

FIRST READING HELD:

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY OF CHESTERFIELD, MISSOURI, IMPOSING A MINIMUM AGE FOR THE PURCHASE AND SALE OF KRATOM PRODUCTS WITHIN THE CITY, AND ENACTING A NEW SECTION OF CHAPTER 210 RELATED THERETO.

WHEREAS, the City of Chesterfield, Missouri (the "City") recognizes that the drug KRATOM is not regulated by the Controlled Substances Act; and,

WHEREAS, KRATOM can cause psychoactive effects (i.e., impairing or mind-altering) in those who consume it; and,

WHEREAS, KRATOM products can cause psychotic symptoms, can be psychologically or physiologically addictive, has resulted in KRATOM positive deaths, and are unregulated with respect to product testing, minimum age to purchase, and places of sale, which has resulted in KRATOM products being sold at CBD stores, tobacco stores, vape shops, and gas stations; and,

WHEREAS, many KRATOM products are being marketed without regard for a consumer's age; and,

WHEREAS, KRATOM products pose a threat to the health and safety of minors, sometimes leading to respiratory depression, psychosis, hallucinations, and other adverse effects; and,

WHEREAS, the City finds it necessary to enact regulations related to the sale of KRATOM products to protect the general public health, safety, and welfare, and specifically to protect those under the age of twenty-one from the adverse effects associated with the consumption of KRATOM products;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, MISSOURI AS FOLLOWS:

Section I: Section 210.1950 of the City of Chesterfield Municipal Code shall be adopted as follows:

A. As used in this section, the following definition shall apply:

KRATOM PRODUCTS

Any product containing any part of the leaf of the plant *Mitragyna speciosa*. There shall be a rebuttable presumption that a sealed container or product labeled as containing KRATOM, *Mitragyna speciosa*, mitragynine, and/or 7-hydroxymitragynine is a KRATOM product.

B. Providing KRATOM Products To Minors - Unlawful.

- 1.** No person shall procure for, sell, vend, give away or otherwise supply any KRATOM products in any quantity whatsoever to any person under the age of twenty-one (21) years, except when prescribed by a licensed healthcare provider.
- 2.** It shall be a defense to prosecution under Section 210.1950(B)(1) that the defendant sold the KRATOM products to the minor with reasonable cause to believe that the minor was twenty-one (21) or more years of age and the person exhibited to the defendant a driver's license, Missouri non-driver's identification card, or other official or apparently official document, containing a photograph of the minor and purporting to establish that such minor was at least twenty-one (21) years of age.

C. Misrepresentation Of Age To Obtain KRATOM Products.

- 1.** No person under the age of twenty-one (21) years shall represent, for the purpose of purchasing, asking for or in any way receiving any KRATOM products, that he/she has attained the age of twenty-one (21) years, except in cases authorized by law.
- 2.** In addition to Subsection (C)(1) of this Section, no person under the age of twenty-one (21) years shall use a reproduced, modified or altered chauffeur's license, motor vehicle operator's license, identification card issued by any uniformed service of the United States, passport or identification card established in Section 302.181, RSMo., for the purpose of purchasing, asking for or in any way receiving any KRATOM products.

D. No person under the age of twenty-one (21) years shall purchase or attempt to purchase, or have in his/her possession, any KRATOM products.

E. KRATOM products may only be displayed for sale in such a manner that a person cannot have possession of the KRATOM product prior to the sale of the KRATOM product.

F. It is the intent that each and every subsection of Section 210.1950 shall be severable from every other section.

Section II: This ordinance shall be codified within the Municipal Code of the City of Chesterfield.

Section III: This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this ____ day of _____, 2024.

Presiding Officer

Bob Nation, Mayor

ATTEST:

Vickie McGownd

FIRST READING HELD:

LETTER OF AGREEMENT

The purpose of this correspondence is to serve as a *Letter of Agreement* between the PARKWAY SCHOOL DISTRICT (hereinafter "DISTRICT") and the CITY OF CHESTERFIELD, MISSOURI (hereinafter, "CITY") on behalf of the CITY OF CHESTERFIELD POLICE DEPARTMENT (hereinafter, "DEPARTMENT") concerning the security program defined below.

Pursuant to previous discussions, the following considerations are mutually acceptable to both agencies:

1. The object of the program will be to assist the DISTRICT in continuing to provide a safe environment for the students, staff and citizens who interact with the DISTRICT. The officers will respond to the needs of the various schools in the DISTRICT and will regularly make contact with and assist the staff and students. The functions will include, but not be limited to:
 - Serving as a problem solving resource for the students, faculty and staff of the DISTRICT (D-12)
 - Enforcing DISTRICT policies and guidelines as they relate to security and safety issues
 - Providing assistance to the DISTRICT in dealing with individuals/conditions who/which may pose a threat to DISTRICT personnel, students and/or property
 - Providing patrol activities and performing other duties which are deemed appropriate by the DISTRICT and the CITY
 - Coordinating law enforcement functions with support units of the CITY
 - Providing a liaison among the CITY and other community agencies to offer assistance to the school community, such as guest speakers, special presentation, etc.
2. CITY and DISTRICT will work collaboratively to develop job descriptions, qualifications, character procedural documents, and a list of goals by which to evaluate the officers assigned to the DISTRICT.
3. The terms of this agreement shall be in force commencing July 1, 2024 and shall remain in effect until June 30, 2027, or until terminated by either party. This agreement may be terminated by either party upon written notice to the individuals signing this agreement. Said termination shall take effect thirty (30) days after written notice.

4. The CITY shall detach four (4) police officers from its regular force and assign those officers to DISTRICT middle and high schools within the City of Chesterfield where they shall function as "School Resource Officers (SRO)" for the regular school year. Furthermore, the CITY OF CHESTERFIELD shall detach a sufficient number of officers to staff summer school sessions being held at DISTRICT middle and high schools within the City of Chesterfield.

Funding for the four SROs and the officer(s) assigned to summer school session will be provided as follows: 100% of the cost of assigned officer's Chesterfield salary and benefits are to be provided by the DISTRICT during the time the officers are assigned to the DISTRICT.

In February of each year the agreement is in effect, the CITY will provide the DISTRICT a spreadsheet detailing the projected cost for the four SROs for the next contract period.

5. The CITY will make available four (4) marked police vehicles for use by the School Resource Officers assigned to the DISTRICT during the regular school year and the summer session.
6. The DISTRICT shall have complete services of the assigned officers throughout the regular school year. Assigned officers will return to the CITY for assignment during the summer months.
7. The officers detached to the DISTRICT during the regular school year and the summer session shall provide special law enforcement services to the DISTRICT. The services provided shall be services not ordinarily provided by the CITY. The officers performing these services shall be considered employees of the CITY and not employees of the DISTRICT, and shall follow the policies and procedures of the DEPARTMENT. The officers assigned to this program shall be jointly selected by the DISTRICT and the CITY. Assignments to the position by the CITY will not abridge the officer's employment rights as provided by the CITY. Normal duty (working) hours shall be determined by the DISTRICT and the Police Department. Duty (working) hours may be modified based upon need, and agreeable to both the CITY and the DISTRICT.
8. To enhance community building and the development of skills for all school staff, School Resource Officers will participate in school professional development activities as appropriate to their work. This includes, but is not limited to technology changes, safety management and intruder training, social justice and trauma informed care, engagement, with students and parents on safety topics and social-emotional mental health issues.

9. The CITY shall provide a supervisor of the rank of Sergeant or above who shall function as a liaison to the DISTRICT. This individual will work with the individuals designated by the DISTRICT to develop specific operational procedures to facilitate the goals of the program. The liaison will not be assigned to the DISTRICT.
10. It is acknowledged that the CITY is insured for the purposes of general liability, professional liability and Worker's Compensation/employer liability.
11. All police-sensitive records regarding the program will be maintained by the CITY. School administrative records will stay within the DISTRICT. Individual officer's performance will be evaluated twice per year.
12. CITY and DISTRICT will meet monthly to monitor and evaluate the progress of the program. The program will be reviewed and, if needed, revised on a yearly basis.

The CHESTERFIELD POLICE DEPARTMENT and the PARKWAY SCHOOL DISTRICT have a history of working together to provide quality service to the citizens in our area and we agree to implement this program in an effort to further enhance the quality of life for our citizens.



Board President
Parkway School District

Michael Geisel, City Administrator
City of Chesterfield

6-12-24
Date

SRO contract estimate for July 1, 2024 - June 30, 2027

Salary and Benefits

Officer	2024-2025	2025-2026	2026-2027
Borawski	\$ 121,889.67	\$ 127,726.09	\$ 133,637.50
Cordia	\$ 122,312.91	\$ 128,170.49	\$ 134,104.12
Kaatmann	\$ 122,063.79	\$ 127,908.92	\$ 133,829.46
Paubel	\$ 114,208.88	\$ 119,681.43	\$ 125,227.00
Total	\$ 480,475.25	\$ 503,486.94	\$ 526,798.07
75% of salary	\$ 360,356.44	\$ 377,615.20	\$ 395,098.55

Final amount may fluctuate based on overtime, weeks Officers do not work, and which Officer is assigned to the summer semester.

To estimate future years, we used a 4% pay increase and 5% health insurance increase

* See attached sheets for detail for each officer.

REPORT FROM THE CITY ADMINISTRATOR & OTHER ITEMS REQUIRING ACTION BY CITY COUNCIL

- A. Municipal League of Metro St. Louis Annual Dues:** As previously instructed, the City Administrator has forwarded the invoice from the Municipal League of Metro St. Louis County, in the amount of \$7,122 for approval. This membership is included in the 2024 approved budget. **(Roll Call vote)**
- B. Wilson Avenue Right of Way Parcel Ten** Recommendation to authorize the City Administrator to issue payment in the amount of \$49,984 and execute all necessary right of way and easement documents associated with Parcel Ten of the Wilson Avenue Project. **(Roll Call Vote) Department of Public Works recommends approval.**

OTHER LEGISLATION

- A. Proposed Bill No. 3513 – Estates at Conway:** An ordinance providing for the approval of a Record Plat and escrow agreements for a 2.14-acre tract of land being part of lot 5 of Highland on Conway, Plat 1 for a subdivision zoned “R3” Residential District located approximately 0.7 miles southeast from the intersection of Conway Road and Chesterfield Parkway East and north of Interstate 64 (Ward 2). **(First & Second Reading) Planning Commission recommends approval.**

UNFINISHED BUSINESS

There is no unfinished business scheduled for this meeting.

NEW BUSINESS

There is no new business scheduled for this meeting.



MUNICIPAL LEAGUE OF METRO ST. LOUIS

LINKING LOCAL COMMUNITIES
STRENGTHENING LOCAL
GOVERNMENT

BOARD OF DIRECTORS

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City of Florissant

Vice President
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Mike Roerman
Mayor
City of Ellisville

Missy Waldman
Mayor
City of Olivette

Terry Wilson
Councilmember
City of Jennings

Pat Kelly
Executive Director

JULY 1, 2024 ANNUAL MEMBERSHIP DUES STATEMENT MUNICIPAL LEAGUE OF METRO ST. LOUIS

Municipality: Chesterfield

Dues Amount: \$7,122

Send your check to: Municipal League of Metro St. Louis
11911 Dorsett Rd.
Maryland Heights, MO 63043

Due Date: 8/31/2024

This statement is for your municipality's annual dues for membership with the Municipal League of Metro St. Louis. Dues statements are sent annually during the summer and correspond with the League's fiscal year (July 1, 2024 – June 30, 2025).

The Municipal League's Executive Board strives to be good stewards of your membership dues and has not proposed an increase since 2014.

Please contact League staff at staff@stlmuni.org or (314) 726-4747 with any questions.

Thank you for your continued support of League activities.

ANNUAL REPORT OF LEAGUE ACTIVITIES

DATE: July 1, 2024
TO: Chief Administrative Officer
FROM: Pat Kelly, Executive Director
RE: Annual Dues Statement and Report of League Activities

Dear Members:

I first want to take this opportunity to recognize Steve Ables for his exceptional 40 years of service to the League. As Steve embarks on this new chapter, I want to extend our heartfelt gratitude for his extraordinary contributions to the League. Filling the role of someone who has been with us for four decades is no small task. Steve's knowledge, experience, and commitment have been integral to the League's success, and he will be greatly missed. However, we are committed to ensuring a smooth transition and look forward to the challenge of continuing to build on his standards and reputation. We wish him a retirement filled with joy, relaxation, and new adventures.

I also need to acknowledge Michelle Harris, Mayor of Clayton, and the League Executive Board for their leadership and support which has led to a busy and productive year. Lastly, I want to take this opportunity to thank you, our members, and to share some of the work completed on your behalf that will benefit our member municipalities and the region as a whole. Our goal is to advocate on your behalf. The League Board and staff would also like to compliment you for providing quality services at reasonable costs, and for the many cooperative efforts most cities cultivate.

NEW ASSISTANT DIRECTOR

The Executive Board has hired Colin Kinkade as the new Assistant Executive Director. Colin has a master's degree in public policy and administration from UMSL. His previous experience includes interning for the city administrator of Chesterfield, serving as a Legislative Aide for the St. Louis County Council offices, and working as a Research & Policy Associate for the Missouri Municipal League in Jefferson City. Colin started on April 15 and has been working with Steve since then to transition into his new role.

REGIONAL CRIME INITIATIVE

Starting in late 2022, Greater St. Louis Inc. and the Regional Business Council engaged criminology expert, the late Dr. Rick Rosenfeld from UMSL, to examine the region's violent crime problem. His report led to a May 2023 Crime Summit at the Washington University School of Medicine. Attendees included elected officials, police chiefs, prosecutors, mental health experts, and business leaders from throughout the region. The presentation featured national expert Thomas Abt of the Violence Reduction Center.

In December 2023, Abt and his team held a week-long session with Elected officials, law enforcement leaders, prosecutors, and other stakeholders to develop the violence reduction strategy. Abt released a detailed analysis of homicide cases in the region, showing that 30% of homicides can be connected to individuals in groups representing 0.16% of the metro's

population. At the end of the summit, leaders released a plan to reduce St. Louis' homicide rate by 20% over three years, deploying the evidence-based strategy known as "Focused Deterrence."

The League Executive Board unanimously supported the initiative by contributing \$25,000 for the initial phase of the program. East-West Gateway formally adopted the plan in March of 2024 with a goal of having the program staffed and operating by January 2025.

STATE LEGISLATURE ATTACKS MUNICIPAL REVENUE SOURCES

Unfortunately, every year we face legislation that attempts to reduce municipal revenues, from eliminating sales tax on groceries to freezing property taxes for seniors. In January of this year, while in a meeting with the late Terry Briggs, Mayor of Bridgeton, and the Missouri Department of Revenue Director, Wayne Wallingford, Terry suggested that the elimination of sales tax on groceries was a reverse Hancock Amendment violation. Article X, Sections 16 and 21 of the Missouri Constitution prohibit the state from reducing its proportion of funding for local activities from the level in effect at the time the amendment was adopted in 1980 or from requiring local governments to provide new or additional activities or services without the state agreeing to pay the costs. We argue that if the legislature were to eliminate voter-approved sales taxes on groceries without providing municipalities restitution for lost revenue, then they would violate the Hancock Amendment of Missouri's constitution.

The Executive Board partnered with the Metro Mayors Association and retained former Missouri Supreme Court Justice and constitutional attorney William Price to determine if this was in fact a Hancock violation. After independently researching the issue, Judge Price drafted a memo corroborating our argument. Although not a legal opinion, the memo would be the foundation for a legal challenge in the future. It will also be useful when lobbying in Jefferson City because Judge Price is highly respected at the Capitol.

HOMELESS AND UNHOUSED

The homeless and unhoused issue is becoming more prevalent throughout the region. The Executive Board held discussions and meetings throughout the year on this topic to bring attention to the issue. Last month, East-West Gateway's Executive Board approved the formation of a Regional Summit on Homelessness and the Unhoused. They will convene a group of experts from peer regions/communities to help provide insight into national best practices and experiences.

LEGISLATIVE SESSION

The legislative session was one of the least productive on record due to the continued tensions between the Republican Leadership and the Republican Freedom Caucus. The political infighting resulted in two record breaking filibusters, one for 41 hours by the Senate members of the Freedom Caucus, which was then surpassed by Senate Democrats who held the floor for 46 hours in the final week of the session.

This session was also the first session in this century to not have a single conference committee over the budget or any policy bills. This may have contributed to a limited number of bills being "truly agreed to and finally passed," barely surpassing the abbreviated 2020 COVID pandemic session which saw only 42 bills cross the finish line.

Although this session was two weeks longer, very few bills advanced to Governor Mike Parson's desk. Of the 2,607 bills and resolutions introduced, only 44 bills and two resolutions were truly agreed to and finally passed—18 were budget bills.

Despite all the chaos, this session was another busy one for cities. The attacks on local government and their revenues seemed endless. The most disturbing thing about it was the messaging: legislators wanting to limit or remove municipal revenue sources claimed it would save taxpayers money. However, in many instances, it actually amounted to tax breaks for corporations at the expense of the taxpayer. In the end, we had a pretty good session. Gridlock in the senate is usually positive for us because we are trying to stop bills way more often than we are trying to pass them. Many of you also played an important role in our successes during the legislative session. Without your involvement contacting legislators, writing letters to local papers, posting information on your websites and educating your constituents, we would not have had the successes that we did. We cannot win them all, but we would not have won as many without your help.

Below are some notable bills that the League worked on this session.

Passed

SB 1359 – Municipal depositories (supported)

HB 2057 – Definition of video service provider (opposed)

HB 2062 – Political subdivision bill including numerous items including land bank (supported)

SB 756 – Property tax credit for seniors (SB 190 fix – supported fix, opposed original bill)

SB 872 – Omnibus utility bill including definition of video service provider, sales tax exemption for utilities, and repeal of the small cell deployment act sunset (opposed – supported small cell sunset extension)

Failed

HB 1604 – Declaration of candidacy (opposed)

HB 1720 – Sunshine Law - Protects personal information of minors held by cities (supported)

HB 2055 & SB 1062 – Sales tax exemption on food (opposed)

HB 2056 – Would have required cities to pay for relocation of fiber optic lines in the ROW when cities were working or improving ROW (opposed)

HB 2058 – Requires a 2/3 majority vote on special taxing districts (opposed)

HB 2061 – Local ballot proposals relating to tax increases (opposed)

HB 2292 – No impact, home-based business fix (supported)

SB 733 – Personal property tax phaseout (opposed)

SB 1362 – Financial statements (HB 1606 fix) (supported)

Below is an overview of the Legislative session compared to the goals and objectives outlined by Governor Parson at the State of State Address in January.

1. Education and Social Issues:

- Bills related to elementary and secondary education saw major discussions, such as SB 727, which modifies provisions for K-12 education.
- Controversial bills around gender transition procedures were addressed, including HB 1520 and HB 2309, reflecting ongoing debates on social issues.

2. Taxation and Financial Legislation:

- SB 872 and SB 756 modified taxation of utility infrastructure and property tax credits for seniors, respectively, aiming to adjust financial burdens and benefits within the state.
- SB 1359 addressed changes in regulations governing financial institutions.

3. Public Safety and Law Enforcement:

- Several bills aimed at supporting law enforcement personnel through financial means and structural changes, such as SJR 71, which allows for levying fees to support law enforcement salaries.

4. Constitutional Amendments and Voter Measures:

- The legislature referred multiple constitutional amendments to the 2024 ballot, including measures on property tax exemptions for childcare establishments (Missouri Amendment 1) and requirements for city funding of state-controlled police forces (Missouri Amendment 4).

5. Health and Discrimination Laws:

- HB 1519 aimed to prohibit discrimination against healthcare professionals who refuse to participate in procedures related to gender identity transitions, highlighting ongoing tensions in healthcare and civil rights.

6. Appropriations and Budget:

- Numerous appropriation bills were passed, covering various state needs and financial allocations, ensuring continued funding for state operations and services.

In closing, on behalf of the Executive Board and the League staff I want to thank you for your continued support and participation in the League.

Memorandum

Department of Public Works



TO: Michael O. Geisel, P.E.
City Administrator

FROM: James A. Eckrich, P.E. *JAE*
Public Works Dir. / City Engineer

DATE: June 21, 2024

RE: Wilson Avenue Right of Way Parcel Ten

As you know, the City of Chesterfield has secured a grant to reconstruct the northern portion of Wilson Avenue. Design was completed earlier this year and we are currently in the right of way acquisition phase, with construction expected to commence in 2025 or 2026. While the City must pay all costs associated with project design, right of way, and construction engineering, the Surface Transportation Program (STP) grant will fund up to \$1,143,170 of the estimated \$1,633,100 construction cost. The 2024 City of Chesterfield Budget includes \$310,000 in Account 120-079-5261 for Wilson Avenue right of way.

Prior to generating a bid package and advertising for bids, the City must acquire right of way, permanent drainage easements, and temporary easement from ten parcels. When acquiring right of way, the City must adhere to all requirements of the Uniform Act (federal law) and MODOT. This includes full appraisals, with an appraisal review, for any property where the acquisition is complex and/or the value exceeds \$25,000. Accordingly, we conducted appraisals, including an appraisal review, for six of the ten properties. The estimated total value of the land needed for the Wilson Avenue Project, including all right of way, permanent drainage easements, and temporary easements from all ten impacted parcels, is \$255,000.

Thus far we have successfully negotiated property acquisition from two of the ten property owners. The first property was acquired for \$2,705, an amount that did not require Council approval. The second property, parcel 10, contains a significant amount of right of way which we acquired for a total cost of \$49,984. Because this property acquisition is in excess of \$25,000 it does require City Council authorization.

For additional details regarding the project and the property acquisition, please see the attached memorandum from Senior Civil Engineer Jeff Paskiewicz. Note that there are eight more properties from which we need right of way, four of which will

cost in excess of \$25,000. Accordingly, City Council can expect to see similar requests for the approval of right of way acquisition from those properties in the near future.

Action Recommended

This matter should be forwarded to City Council for the approval of a budgeted expenditure in excess of \$25,000. Should City Council concur with Staff's recommendation, it should authorize the City Administrator to issue payment in the amount of \$49,984 and execute all necessary right of way and easement documents.

Memorandum

Department of Public Works



TO: Jim Eckrich, Director of Public Works/City Engineer

FROM: Jeff Paskiewicz, Senior Civil Engineer *JSP*

DATE: June 20, 2024

**RE: Wilson Ave Improvement Project (2021-PW-14)
Right-of-Way and Easement Compensation
Parcel 10 – 1204 Walnut Hill Farm Drive**

As you are aware, the City will be reconstructing Wilson Avenue from Wild Horse Creek Road to Walnut Hill Farm Drive and constructing a new asphalt overlay from Walnut Hill Farm Drive to approximately 1,200 feet south to the Wilson Avenue culvert. As part of the project, land acquisition in the form of right-of-way, permanent easements, and temporary construction easements will be necessary from ten parcels. Per Missouri Department of Transportation (MoDOT) requirements for local public agency land acquisition, six of the parcels require appraisals and review appraisals completed by a certified appraiser. Appraisals and review appraisals were completed for these six parcels and compensation amounts have been determined.

We anticipate the total compensation amount for all ten parcels, based on appraisals and prior to negotiations, to be \$255,000. The 2024 budget contains \$310,000 for the necessary property acquisition. The anticipated individual compensation amount for five of the ten parcels will be over \$25,000 each and will require City Council approval. The anticipated compensation for the remaining five parcels will be under \$25,000 each. Those do not require City Council approval.

To date, staff has acquired easements from one parcel and compensation has been made as it was under the \$25,000 threshold. Parcel 10 is the first parcel where we have successfully acquired all right-of-way and easements in an amount over \$25,000. The remaining four parcels, with compensation amounts in excess of \$25,000, will also be submitted to City Council for approval at a later date once final negotiations have occurred.

In order to construct the project a temporary construction easement, permanent drainage easement, and right-of-way are needed from parcel 10. A breakdown of the compensation amount is listed on the following page.

Easement Type	Area (SF)	\$/SF	Cost
Temporary Construction Easement	18,720	\$0.30	\$5,616
Permanent Drainage Easement	2,297	\$0.75	\$1,723
Right-of-Way	28,430	\$1.50	\$42,645

Total: \$49,984

Staff has successfully negotiated with the owner of parcel 10 and the easement and right-of-way documents were signed on June 13, 2024. The documents will be recorded upon payment to the property owner. Copies of the signed documents are attached.

It is my recommendation that request for compensation for the temporary construction easement, permanent drainage easement, and right-of-way associated with Parcel 10, in the amount of \$49,984, be placed on a City Council agenda for their approval.

If approved by City Council, payment can be processed from fund 120-079-5261 in the amount of \$49,984 and made payable to the “Steven and Kelly Abraham”.

Attachment: Executed Easement Documents

Cc: Zach Wolff, Assistant City Engineer

TEMPORARY CONSTRUCTION EASEMENT

THIS INDENTURE, made and entered into this 13TH day of JUNE, 2024, by and between Steven Abraham, Kelly Abraham, and Katie Graham of the County of Saint Louis, State of Missouri, Grantors and the City of Chesterfield, Missouri, 690 Chesterfield Parkway West, Chesterfield, Missouri, 63017, Grantee.

WITNESSETH, that the said Grantors, for and in consideration of the sum of One Dollar and No/100 (\$1.00) and other valuable considerations paid by Grantee, the receipt of which is hereby acknowledged, do by these presents, grant unto the Grantee, a Temporary Construction Easement upon the following described premises situated in the County of St. Louis and State of Missouri, to wit, all the real estate indicated by on the attached Exhibit "A" hereby made a part of this Indenture.

SAID Temporary Construction Easement is granted for the purpose of making cuts, fills and sloping embankment, constructing drives, sidewalks, temporary roadways, and overhead utilities, etc., if any, providing working room and implementing any and all other construction items until such time as Wilson Avenue Improvement Project is completed and accepted by the City of Chesterfield. Upon the granting or denial of acceptance by the City of Chesterfield or its assigns, this easement shall terminate.

Grantors covenants that no installation will be placed on the above platted land as will interfere with the proper construction of the aforementioned project until this easement is terminated.

IN WITNESS WHEREOF, the said Grantors have executed these presents the day and year first above written.

Steven Abraham
(Signature) Steven Abraham

Kelly Abraham
(Signature) Kelly Abraham

Katie Abraham By Kelly Abraham under Power of Attorney
(Signature) Katie Graham
By Kelly Abraham under Power of Attorney

STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

On this 13 day of June, 2024 before me personally appeared Stacy Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

[Signature]
Notary Public

My term expires 12/19/26



STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

On this 13 day of June, 2024 before me personally appeared Kelly Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that She executed the same as her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

[Signature]
Notary Public

My term expires 12/19/26



Parcel: 10
Route: Wilson Avenue
City: Chesterfield
County: St. Louis
Owner: Steven Abraham, Kelly Abraham & Katie Graham
Temporary Construction Easement

Part of U.S. Survey 2760, Township 45 North, Range 4 East, St. Louis County, Missouri,
described as follows:

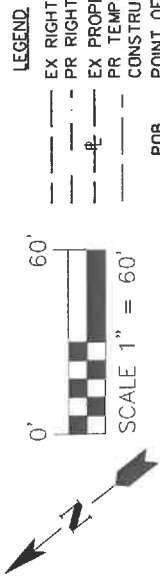
Commencing at the northeast corner of Lot "1B" of the "Walnut Hill Farm Lot Split", reference being had to the plat thereof recorded in the St. Louis County Recorder's Office in Plat Book 369 on Page 452; thence on an assumed bearing of South 84 degrees 55 minutes 33 seconds West on the north line of said Lot "1B", 74.30 feet to the Point of Beginning.

From said Point of Beginning; thence continuing South 84 degrees 55 minutes 33 seconds West on said north line, 103.32 feet; thence northwesterly 89.82 feet on a non-tangential curve to the left having a radius of 390.00 feet, the chord of said curve bears North 44 degrees 37 minutes 13 seconds West, 89.63 feet; thence North 51 degrees 13 minutes 06 seconds West, 13.68 feet; thence North 38 degrees 46 minutes 54 seconds East, 30.00 feet; thence North 51 degrees 13 minutes 06 seconds West, 140.00 feet; thence North 38 degrees 46 minutes 54 seconds East, 42.53 feet to the southwesterly right of way line of Wilson Avenue; thence easterly 2.62 feet on said southwesterly right of way line, being a non-tangential curve to the left having a radius of 55.77 feet, the chord of said curve bears South 88 degrees 46 minutes 33 seconds East, 2.62 feet; thence North 89 degrees 52 minutes 47 seconds East continuing on said southwesterly right of way line, 25.28 feet; thence South 51 degrees 13 minutes 06 seconds East, 131.93 feet; thence southeasterly 42.20 feet on a curve to the right having a radius of 480.00 feet, the chord of said curve bears South 48 degrees 41 minutes 59 seconds East, 42.19 feet; thence South 64 degrees 01 minute 51 seconds West, 43.58 feet; thence South 25 degrees 58 minutes 09 seconds East, 45.00 feet; thence North 64 degrees 01 minute 51 seconds East, 57.68 feet; thence southeasterly 77.50 feet on a non-tangential curve to the right having a radius of 480.00 feet, the chord of said curve bears South 35 degrees 55 minutes 28 seconds East, 77.41 feet to the Point of Beginning.

Said parcel contains 18,720 square feet or 0.430 acre, more or less.



DATE: 10/19/2023
EXPIRES 12/31/23

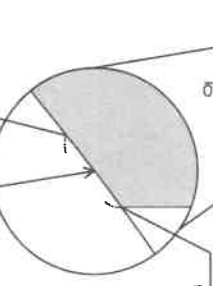


LEGEND

- EX RIGHT OF WAY LINE
- PR RIGHT OF WAY LINE
- EX PROPERTY LINE
- PR TEMPORARY
- CONSTRUCTION EASEMENT LINE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT

CURVE PR_WILSON_4
 PI 106+12.69
 PC 109+07.43
 PRC 22°53'32.6" (LT)
 Δ 11°14'04.1"
 L 203.71'
 T 103.26'
 R 510.00'

R=55.77'
 L=2.62'
 CB=588°46'33"E
 CL=2.62'



CURVE PR_WILSON_7
 PI 110+72.11
 PC 108+88.68
 PRC 39°33'48.1" (RT)
 Δ 11°14'04.1"
 L 352.16'
 T 183.43'
 R 510.00'

S. LINE US SURVEY 125
 N. LINE US SURVEY 2760

R=480.00'
 L=42.20'
 CB=548°41'59"E
 CD=42.19'

R=80.00'
 L=77.50'
 CB=535°55'28"E
 CD=77.41'

R=480.00'
 L=42.20'
 CB=548°41'59"E
 CD=42.19'

R=80.00'
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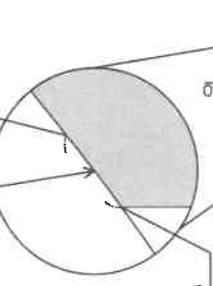
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PROPOSED USE:
 TEMPORARY CONSTRUCTION EASEMENT

AREA OF TRACT
 18,720 SF ±

0.430 ACRE ±

PROJECT NO.:
 220130.001

DATE:
 09/29/2023

REVISION:

**1204 WALNUT
 HILL FARM DRIVE
 CHESTERFIELD, MO 63005**

720 Olive, Suite 700
 St. Louis, MO 63101
 314.588.6381
 www.oatesassociates.com

Collinsville St. Louis Belleville St. Charles
 MISSOURI DESIGN FIRM LICENSE NO.: 001106

OATES
 ASSOCIATES

DATE: 10/30/2023
 EXPIRES 12/31/23

EXHIBIT
A



STEVEN ABRAHAM, KELLY ABRAHAM, AND KATIE GRAHAM
 181140090
 1204 WALNUT HILL FARM DRIVE
 BK 24970 PG 3145

LOT 1B
 N/F FLOWER HOMES INC
 181120191
 16119 WALNUT HILL FARM DRIVE
 BK 25220 PG 718

WALNUT HILLS FARM LOT SPLIT
 PB 369 PG 452

WILSON AVE
 CURVE PR_WILSON_7
 PT STA 112+00
 112+00.84

PERMANENT DRAINAGE EASEMENT

THIS INDENTURE, made and entered into this 13th day of JUNE, 2024, by and between Steven Abraham, Kelly Abraham, and Katie Graham of the County of Saint Louis, State of Missouri, Grantors and the City of Chesterfield, Missouri, 690 Chesterfield Parkway West, Chesterfield, Missouri, 63017, Grantee.

WITNESSETH, that the said Grantors, for and in consideration of the sum of One Dollar and No/100 (\$1.00) and other valuable considerations paid by the said Grantee, the receipt of which is hereby acknowledged, do by these presents, grant unto the Grantee a Permanent Drainage Easement to construct, repair and maintain stormwater drainage structures in and upon the real estate indicated by the attached Exhibit "A", and to use such additional space adjacent to the easement so granted as may be required for working room during construction, reconstruction, maintenance or repair of the aforementioned stormwater drainage structures, hereby made a part of this Indenture.

TO HAVE AND TO HOLD the same, together with all rights and appurtenances to the same belonging, unto the said Grantee, and to its successors, heirs and assigns forever.

The Grantors do hereby covenant to the CITY OF CHESTERFIELD, MISSOURI, that lawfully seized and possessed of the real estate above described that a good and lawful right to convey it, or any part thereof, that it is free from all encumbrances, and that shall forever warrant and defend the title thereto against the lawful claims of all persons whomsoever.

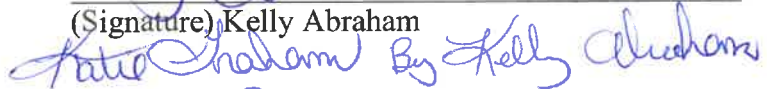
IN WITNESS WHEREOF, the said Grantors have executed these presents the day and year first above written.



(Signature) Steven Abraham



(Signature) Kelly Abraham


Katie Graham By Kelly Abraham
under Power of Attorney

(Signature) Katie Graham

By Kelly Abraham under Power of Attorney

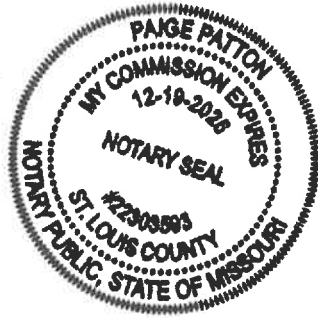
STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

On this 13 day of June, 2024, before me personally appeared Steven Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

[Signature]
Notary Public

My term expires 12/19/26



STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

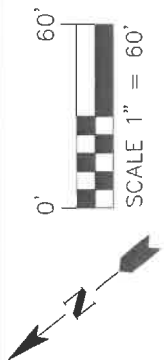
On this 13 day of June, 2024 before me personally appeared Kelly Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that she executed the same as her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.

[Signature]
Notary Public

My term expires 12/19/26

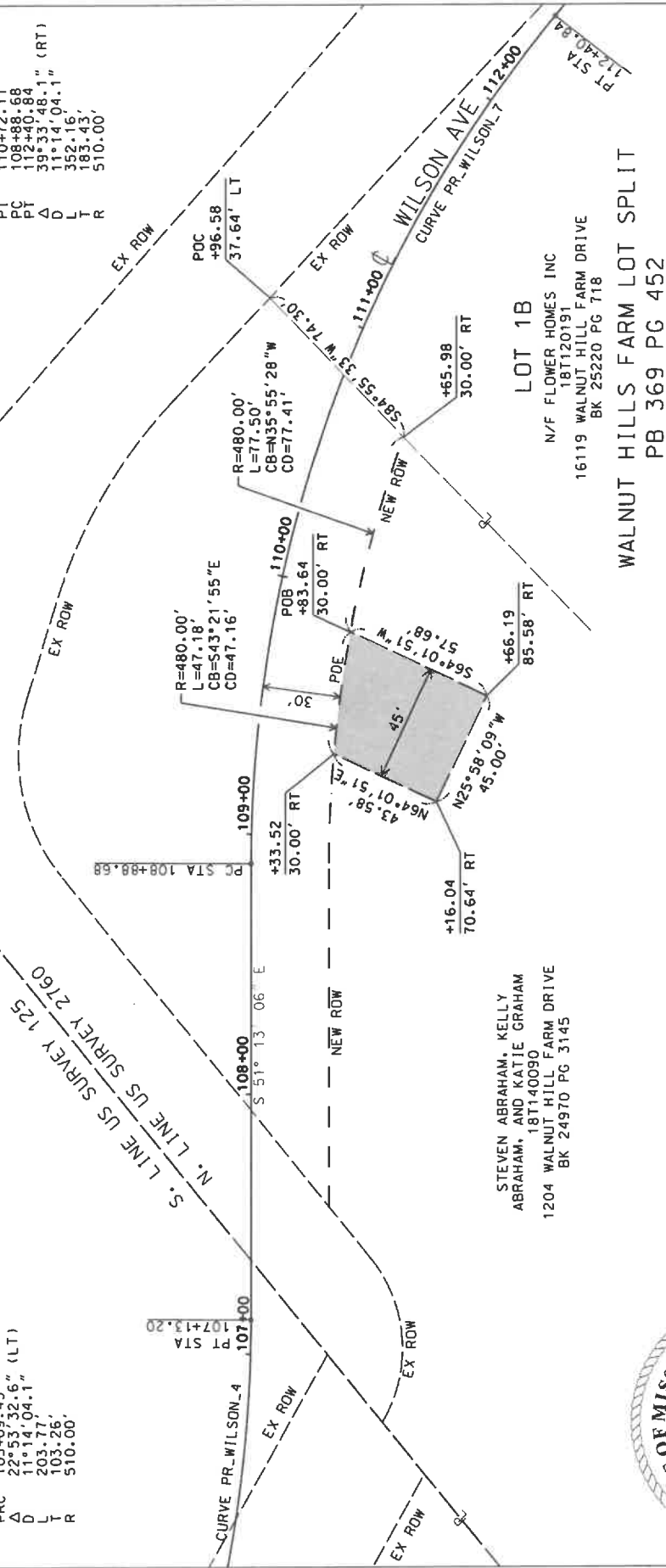




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 R 510.00'

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 PRC 108+88.68
 PT 112+40.84
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 D 11°14'04.1"
 L 352.16'
 T 183.43'
 R 510.00'

LEGEND
 --- EX RIGHT OF WAY LINE
 --- PR RIGHT OF WAY LINE
 --- EX PROPERTY LINE
 --- PR TEMPORARY CONSTRUCTION EASEMENT L LINE
 --- POB POINT OF BEGINNING
 --- POC POINT OF COMMENCEMENT



STEVEN ABRAHAM, KELLY ABRAHAM, AND KATIE GRAHAM
 18T140090
 1204 WALNUT HILL FARM DRIVE
 BK 24970 PG 3145

LOT 1B
 N/F FLOWER HOMES INC
 18T12019T
 16119 WALNUT HILL FARM DRIVE
 BK 25220 PG 718
 WALNUT HILLS FARM LOT SPLIT
 PB 369 PG 452

PROPOSED USE:
 PERMANENT DRAINAGE EASEMENT

AREA OF TRACT
 2,297 SF ±

0.053 ACRE ±

720 Olive, Suite 700
 St. Louis, MO 63101
 314.588.8381
 www.oatesassociates.com



OATES
 ASSOCIATES

DATE: 10/30/2023
 EXPIRES 12/31/23



PROJECT NO.:
 220130.001

DATE:
 09/29/2023

REVISION:

1204 WALNUT
 HILL FARM DRIVE
 CHESTERFIELD, MO 63005

EXHIBIT

A

Parcel: 10
Route: Wilson Avenue
City: Chesterfield
County: St. Louis
Owner: Steven Abraham, Kelly Abraham & Katie Graham
Permanent Drainage Easement

Part of U.S. Survey 2760, Township 45 North, Range 4 East, St. Louis County, Missouri,
described as follows:

Commencing at the northeast corner of Lot "1B" of the "Walnut Hill Farm Lot Split", reference being had to the plat thereof recorded in the St. Louis County Recorder's Office in Plat Book 369 on Page 452; thence on an assumed bearing of South 84 degrees 55 minutes 33 seconds West on the north line of said Lot "1B", 74.30 feet; thence northwesterly 77.50 feet on a non-tangential curve to the left having a radius of 480.00 feet, the chord of said curve bears North 35 degrees 55 minutes 28 seconds West, 77.41 feet to the Point of Beginning.

From said Point of Beginning; thence South 64 degrees 01 minute 51 seconds West, 57.68 feet; thence North 25 degrees 58 minutes 09 seconds West, 45.00 feet; thence North 64 degrees 01 minute 51 seconds East, 43.58 feet; thence southeasterly 47.18 feet on a non-tangential curve to the right having a radius of 480.00 feet, the chord of said curve bears South 43 degrees 21 minutes 55 seconds East, 47.16 feet to the Point of Beginning.

Said parcel contains 2,297 square feet or 0.053 acre, more or less.



DATE: 10/19/2023
EXPIRES 12/31/23

GENERAL WARRANTY DEED

THIS DEED, made and entered into this 13th day of JUNE, 2024, by and between Steven Abraham, Kelly Abraham, and Katie Graham of the County of Saint Louis, State of Missouri, Grantors and the City of Chesterfield, Missouri, 690 Chesterfield Parkway West, Chesterfield, Missouri, 63017, Grantee.

WITNESSETH: that the said Grantor, for and in consideration of the sum of One Dollar and No/100 (\$1.00) and other valuable considerations paid by the said Grantee, the receipt of which is hereby acknowledged, do by these presents, Grant, Bargain and Sell, Convey and Confirm unto the said Grantee, the real estate situated in St. Louis County, Missouri and indicated by the hatched area on the attached Exhibit "A".

TO HAVE AND TO HOLD the same, together with all rights and appurtenances to the same belonging, unto the said Grantee, and to its assigns and successors forever.

The said Grantor hereby covenanting that Steven Abraham, Kelly Abraham, and Katie Graham and their heirs, executors and administrators, shall and will Warrant and Defend the title to the premises unto the said Grantee, and to its assigns and successors forever against the lawful claims of all persons whomsoever, excepting, however, the general taxes for the calendar year 2024 and thereafter, and the special taxes becoming a lien after the date of this deed.

IN WITNESS WHEREOF, the said Grantors have executed these presents the day and year first above written.

Steven Abraham
(Signature) Steven Abraham


Kelly Abraham
(Signature) Kelly Abraham

Katie Abraham By Kelly Abraham under Power of Attorney
(Signature) Katie Graham
By Kelly Abraham under Power of Attorney

STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

On this 13 day of June, 2024, before me personally appeared Steven Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that he executed the same as his free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.


Notary Public


My term expires 12/19/26



STATE OF MISSOURI,)
) SS
COUNTY OF ST. LOUIS)

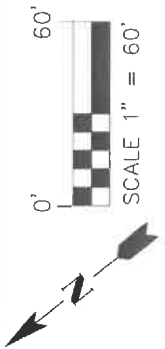
On this 13 day of June, 2024, before me personally appeared Nelly Abraham to me known to be the person described in and who executed the foregoing instrument and acknowledged that she executed the same as her free act and deed.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in the County and State aforesaid, the day and year first above written.


Notary Public

My term expires 12/19/26



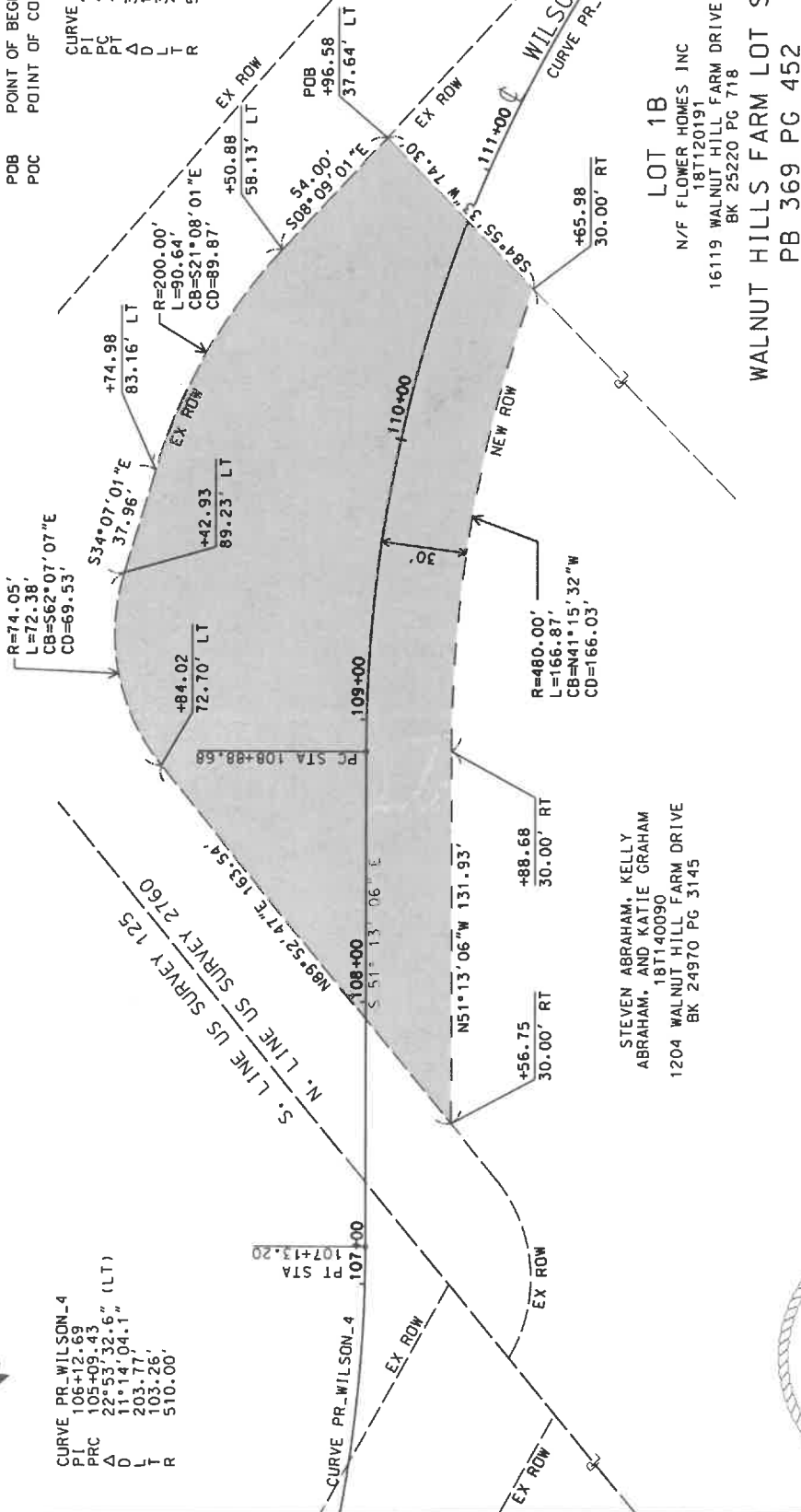


CURVE PR-WILSON-4
 PI 106+12.69
 PRC 105+09.43
 Δ 22°53'32.6" (LT)
 D 11°14'04.1"
 L 203.77
 R 103.26'
 R 510.00'

PT STA 107+13.20
 N. LINE US SURVEY 125
 S. LINE US SURVEY 2760

LEGEND
 --- EX RIGHT OF WAY LINE
 --- PR RIGHT OF WAY LINE
 --- EX PROPERTY LINE
 --- PR TEMPORARY
 --- CONSTRUCTION EASEMENT LINE
 POB POINT OF BEGINNING
 POC POINT OF COMMENCEMENT

CURVE PR-WILSON-7
 PI 110+72.11
 PRC 108+86.68
 Δ 39°33'48.1" (RT)
 D 11°14'04.1"
 L 352.19
 R 183.45'
 R 510.00'



PROPOSED USE:
 NEW RIGHT OF WAY

AREA OF TRACT

28,430 SF ±

0.653 ACRE ±

720 Olive, Suite 700
 St. Louis, MO 63101
 314.588.8381
 www.oatesassociates.com



OATES
 ASSOCIATES

DATE: 10/30/2023
 EXPIRES 12/31/23

PROJECT NO.:
 220130.001

DATE:
 09/29/2023

REVISION:

**1204 WALNUT
 HILL FARM DRIVE
 CHESTERFIELD, MO 63005**

EXHIBIT

A

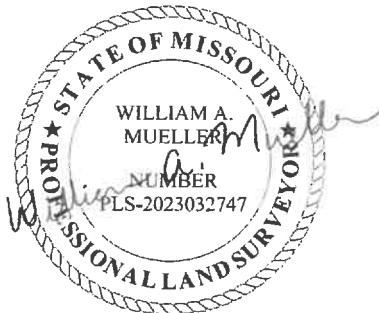


Parcel: 10
Route: Wilson Avenue
City: Chesterfield
County: St. Louis
Owner: Steven Abraham, Kelly Abraham & Katie Graham
New Right of Way

Part of U.S. Survey 2760, Township 45 North, Range 4 East, St. Louis County, Missouri,
described as follows:

Beginning at the northeast corner of Lot "1B" of the "Walnut Hill Farm Lot Split", reference being had to the plat thereof recorded in the St. Louis County Recorder's Office in Plat Book 369 on Page 452; thence on an assumed bearing of South 84 degrees 55 minutes 33 seconds West on the north line of said Lot "1B", 74.30 feet; thence northwesterly 166.87 feet on a non-tangential curve to the left having a radius of 480.00 feet, the chord of said curve bears North 41 degrees 15 minutes 32 seconds West, 166.03 feet; thence North 51 degrees 13 minutes 06 seconds West, 131.93 feet to the southwesterly right of way line of Wilson Avenue; thence North 89 degrees 52 minutes 47 seconds East on said southwesterly right of way line, 163.54 feet; thence southeasterly 72.38 feet continuing on said southwesterly right of way line, being a curve to the right having a radius of 74.05 feet, the chord of said curve bears South 62 degrees 07 minutes 07 seconds East, 69.53 feet; thence South 34 degrees 07 minutes 01 second East continuing on said southwesterly right of way line, 37.96 feet; thence southerly 90.64 feet continuing on said southwesterly right of way line, being a curve to the right having a radius of 200.00 feet, the chord of said curve bears South 21 degrees 08 minutes 01 second East, 89.87 feet; thence South 08 degrees 09 minutes 01 second East continuing on said southwesterly right of way line, 54.00 feet to the Point of Beginning.

Said parcel contains 28,430 square feet or 0.653 acre, more or less.



DATE: 10/19/2023
EXPIRES 12/31/23

Memorandum

Department of Planning



To: Michael O. Geisel, City Administrator

From: Justin Wyse, Director of Planning **JW**

Date: July 15, 2024

RE: **Estates at Conway:** A Record Plat for a 2.14-acre tract of land being part of Lot 5 of Highland on Conway, Plat 1 for a subdivision zoned "R3" Residential Zoning District located approximately 0.7 miles southeast from the intersection of Conway Road and Chesterfield Parkway East and north of Interstate 64 (Ward 2).

Summary

Azack Construction, on behalf of Conway 14880, LLC, has submitted a Record Plat for a 2.14-acre tract of land zoned conventional "R3" Residential Zoning District. The Record Plat would establish six (6) single-family residential lots in addition to common ground, easements, and right-of-way. There are no proposed amenities for this subdivision. Once a plat has been approved and recorded, the new lots may be sold to individual owners. The Record Plat conforms to the amended Preliminary Plat that was approved by the City in 2022. The application was reviewed by Planning Commission on April 8, 2024 and the Commission made a recommendation to approve, as presented.

The required construction and maintenance deposit agreements have been included in the packet for review by City Council, and the accompanying construction and maintenance sureties have been received. Staff has reviewed this proposed Record Plat and found it to be in compliance with the City's Unified Development Code and "R3" Residential Zoning District regulations, substantially conforms to the approved Preliminary Plat, and has met the criteria to be reviewed by City Council.

ESTATES AT CONWAY

RECORD PLAT

A TRACT OF LAND BEING PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI

OWNER'S CERTIFICATE
THE UNDERSIGNED BEING THE TRUSTEE OF LAND TRUST AND TRUSTEE DESIGNATED IN THE FOREGOING... THE UNDERSIGNED HEREBY CERTIFIES THAT THIS RECORD PLAT WAS PREPARED BY HIM OR UNDER HIS DIRECT SUPERVISION AND IS A TRUE AND CORRECT STATEMENT OF THE LAND DESCRIBED THEREIN... THE UNDERSIGNED HEREBY CERTIFIES THAT HE HAS NOT BEEN ADVISED OF ANY CLAIMS OR INTERESTS... THE UNDERSIGNED HEREBY CERTIFIES THAT HE HAS NOT BEEN ADVISED OF ANY CLAIMS OR INTERESTS... THE UNDERSIGNED HEREBY CERTIFIES THAT HE HAS NOT BEEN ADVISED OF ANY CLAIMS OR INTERESTS...

OWNER'S NOTARY
STATE OF MISSOURI: ss
COUNTY OF ST. LOUIS: ss
On this ____ day of _____, 2024, before me personally appeared _____, known to me to be the person whose name and initials are subscribed to the foregoing plat as owner, and acknowledged to me that he executed the same as owner of the land therein described.

LOT #	AREA (ACRES)	LENGTH (FEET)
1	0.125000	180.00
2	0.125000	180.00
3	0.125000	180.00
4	0.125000	180.00
5	0.125000	180.00
6	0.125000	180.00
7	0.125000	180.00
8	0.125000	180.00
9	0.125000	180.00
10	0.125000	180.00

N 10° 00' 00" E 100.00 FT TO CORNER OF LOT 1
S 89° 59' 59" W 100.00 FT TO CORNER OF LOT 1
S 00° 00' 00" E 100.00 FT TO CORNER OF LOT 1
S 89° 59' 59" W 100.00 FT TO CORNER OF LOT 1
S 00° 00' 00" E 100.00 FT TO CORNER OF LOT 1
S 89° 59' 59" W 100.00 FT TO CORNER OF LOT 1
S 00° 00' 00" E 100.00 FT TO CORNER OF LOT 1
S 89° 59' 59" W 100.00 FT TO CORNER OF LOT 1
S 00° 00' 00" E 100.00 FT TO CORNER OF LOT 1
S 89° 59' 59" W 100.00 FT TO CORNER OF LOT 1
S 00° 00' 00" E 100.00 FT TO CORNER OF LOT 1

GENERAL NOTES:
1. PREPARED FOR: [Name]
2. AREA OF SURFACE: [Area]
3. THE TOTAL AREA OF THIS PLAT: [Area]
4. DISTANCE FROM [Point] TO [Point]: [Distance]
5. THE CORNER BEING A SURFACE CORNER, THE SURFACE BEING A REAL PROPERTY AND THERE IS NO RESPONSIBILITY FOR ANY SURFACE THAT IS ADJACENT TO THE PLAT... ALL ADJACENT LANDS BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT...

LAND DESCRIPTION SURVEYED PARCELS
A TRACT OF LAND BEING PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI...

LEGAL DESCRIPTION
PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI... BEGINNING AT THE SOUTHWEST CORNER OF LOT 1 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI...

SURVEYOR'S CERTIFICATE
I, the undersigned, being duly sworn, do hereby certify that the foregoing plat was prepared by me or under my direct supervision and is a true and correct statement of the land therein described... I have not been advised of any claims or interests in the land therein described... I have not been advised of any claims or interests in the land therein described...

RECORD PLAT
ESTATES AT CONWAY

ST. CHARLES ENGINEERING & SURVEYING, INC.
6051 ST. CHARLES ROAD
ST. LOUIS, MISSOURI 63112
TEL: (314) 831-1234
WWW.SCEngineering.com

ORDER NO.: [Blank]
DATE: 4/11/24
1

2 | Page

BILL NO. _____

ORDINANCE NO. _____

AN ORDINANCE PROVIDING FOR THE APPROVAL OF A RECORD PLAT AND ESCROW AGREEMENTS FOR A 2.14-ACRE TRACT OF LAND BEING PART OF LOT 5 OF HIGHLAND ON CONWAY, PLAT 1 FOR A SUBDIVISION ZONED “R3” RESIDENTIAL DISTRICT LOCATED APPROXIMATELY 0.7 MILES SOUTHEAST FROM THE INTERSECTION OF CONWAY ROAD AND CHESTERFIELD PARKWAY EAST AND NORTH OF INTERSTATE 64 (WARD 2).

WHEREAS, Azack Construction, on behalf of Conway 14880, LLC, has submitted for review and approval a Record Plat for a 2.14-acre tract of land being part of Lot 5 of Highland on Conway, Plat 1 for a subdivision zoned “R3” Residential District located approximately 0.7 miles southeast from the intersection of Conway Road and Chesterfield Parkway East and north of Interstate 64 (Ward 2); and,

WHEREAS, the purpose of said Record Plat is to subdivide a 2.14 acre tract of land into six (6) lots and common ground; and,

WHEREAS, the Planning Commission, having considered the said request, recommended approval by a vote of 6-0; and,

WHEREAS, the City Council, having considered said request, voted to approve the Record Plat.

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AS FOLLOWS:

Section 1. The Record Plat and escrow agreements for Estates at Conway Record Plat which is made part hereof and attached hereto as “Exhibit 1” is hereby approved; provided, however, that nothing in this ordinance shall be construed or interpreted as an acceptance of the public utilities or public easement which are dedicated on the Record Plat. The owner is directed to record the plat with the St. Louis County Recorder of Deeds Office.

Section 2. The Mayor and City Clerk are authorized and directed to evidence the approval of said Record Plat by affixing their signatures and the Official Seal of the City of Chesterfield as required on said documents.

Section 3. This ordinance shall be in full force and effect from and after its passage and approval.

Passed and approved this _____ day of _____, 2024.

PRESIDING OFFICER

Bob Nation, MAYOR

ATTEST:

Vickie McGownd, CITY CLERK

FIRST READING HELD: 07/15/2024

SUBDIVISION IMPROVEMENT CONSTRUCTION DEPOSIT AGREEMENT

THIS CONSTRUCTION DEPOSIT AGREEMENT made and entered into by
CONWAY 14880 LLC, herein called DEVELOPER,
~~_____~~, ~~herein called ESCROW~~
~~HOLDER (strike through this party if cash deposited with City)~~, and the City of Chesterfield,
Missouri, herein called CITY.

WITNESSETH:

WHEREAS, the DEVELOPER has submitted plans, information and data to the CITY
for the creation and development of a subdivision to be known as
ESTATES AT CONWAY in accordance with
Ordinance No. 3056, the governing ordinance for the subdivision, and the Subdivision
Regulations of the City of Chesterfield, and has requested approval of same; and

WHEREAS, the subdivision plans have been approved and the CITY has reasonably
estimated and determined that the cost of construction, installation and completion of said
improvements, all in accordance with the provisions of said governing ordinance and
Subdivision Regulations, as amended, will be in the sum of
EIGHTY FOUR THOUSAND THREE HUNDRED SIXTY NINE AND ⁰⁹/₁₀₀ DOLLARS
(\$ 84,369.⁰⁹), lawful money of the United States of America; and

WHEREAS, the DEVELOPER is seeking approval from the CITY of the record plat of
the aforesaid subdivision as the same is provided in said governing ordinance and Subdivision
Regulations; and

WHEREAS, the Subdivision Regulations provide inter alias that the commencement of
said subdivision may be approved by the CITY upon the DEVELOPER submitting satisfactory
construction and maintenance deposit agreements guaranteeing the construction and maintenance

of the subdivision improvements in accordance with the approved plans, said governing ordinance and Subdivision Regulations.

NOW, THEREFORE, in consideration of the covenants, promises and agreement herein provided;

IT IS HEREBY MUTUALLY AGREED:

1. That the DEVELOPER has established a CONSTRUCTION DEPOSIT in the amount of EIGHT FOUR THOUSAND THREE HUNDRED SIXTY NINE ^{AND 09/100^{ths}} DOLLARS (\$ 84,369⁰⁹) lawful money of the United States of America by: (check one)

- Depositing cash with the City.
- Submitting a Letter of Credit in the form required by the CITY and issued by the ESCROW HOLDER.
- Submitting a _____ (type of readily negotiable instrument acceptable to the CITY) endorsed to the City and issued by the ESCROW HOLDER.

Said deposit guarantees the construction, installation and completion of the required subdivision improvements in ESTATES AT CONWAY Subdivision, all in accordance with the approved plans, the governing ordinance for the subdivision and the Subdivision Regulations of the City of Chesterfield, which are by reference made a part hereof, and in accordance with all ordinances of the CITY regulating same. A cost estimate thereof is attached hereto as "Exhibit A".

2. That the CONSTRUCTION DEPOSIT will be held in escrow by the CITY or the ESCROW HOLDER, as applicable, until such time as releases are authorized by the Department of Planning. The CONSTRUCTION DEPOSIT may be subject to special audit of the CITY from time to time.

3. That the CONSTRUCTION DEPOSIT guarantees the construction, installation and completion of the improvements in the aforesaid subdivision in accordance with the plans and specifications for the said subdivision which have been filed with the CITY, which are made a part hereof by reference as if set forth herein word for word.

4. Pursuant to Revised Statutes of Missouri, 89.410, the amounts set out on Exhibit "A" are identified by separate line item and are subject to release of ninety five percent (95%) of said estimated costs within thirty (30) days of the completion of said specific component of work by DEVELOPER. The Developer shall notify CITY in writing when they consider the specific component ready for release of funds. Accordingly, the CITY may not allow for the reallocation of escrowed funds from one line item to another, without specific written agreement between the DEVELOPER and CITY indicating what specific component or components are being modified. ESCROW HOLDER shall not modify or expend funds from other than the identified line item component without written approval from CITY. Completion is when the particular item has had all documentation and certification filed in a complete and acceptable form and the specific items have been inspected and all identified deficiencies have been corrected and the work has been approved by the City.

5. That in the event the CITY should determine that the ESCROW SUM or any line item thereon as herein provided, is insufficient to complete the said Subdivision Improvements, or the specific line item, the CITY will so notify the DEVELOPER who shall deposit within thirty (30) days of said notice with the ESCROW HOLDER that additional sum of lawful money of the United States of America that will be required to complete the said specific component of the improvement and said additional sum will be subject to the terms of this Escrow Agreement. Failure to provide said sum shall cause for immediate cessation of all work on said subdivision until the additional amount is paid.

6. That the DEVELOPER guarantees that all required utilities and improvements will be installed, constructed and completed within two (2) years from the date of the approval of the said Subdivision Plat and the DEVELOPER shall certify the completion of all said improvements, along with the filing of all documentation and certification, all as provided in the governing ordinance for this subdivision and the Subdivision Regulations of the CITY.

7. That the ESCROW HOLDER, in accordance with paragraph 4 above, shall only release or disburse the ESCROW SUM, or portion thereof, upon receipt and in the amount set forth in a written authorization from the Department of Planning addressed to the ESCROW HOLDER, which authorization may be for the payment of labor and materials used in the construction, installation and completion of the said improvements, as the work progresses, as provided in the Subdivision Regulations or governing ordinance for this subdivision.

8. That in the event the DEVELOPER shall abandon the subdivision or fail to complete the subdivision improvements within two (2) years, from the date of the CITY'S approval of the said subdivision plat or subsequent extension period granted to this DEPOSIT AGREEMENT, whichever shall first occur, the CITY shall present to the ESCROW HOLDER a certified statement from the City Engineer estimating the cost for the completion of the subdivision improvements and require the ESCROW HOLDER to immediately perform on this agreement for completion of the specific components of the project or disburse said funds identified by the City Engineer's estimates directly to the CITY. The CITY may complete, or have completed by outside resources, the said improvements. The ESCROW HOLDER having disbursed the escrow sums therefore as ordered and directed by the CITY, and upon such disbursement shall be relieved of all liability under the terms of this agreement.

9. That in the event of any legal actions taken by the CITY against DEVELOPER or ESCROW HOLDER to enforce the provision of this agreement, the parties agree to pay a reasonable attorney's fee in addition to any other sums due under this agreement

10. That there shall be no assignment by DEVELOPER or ESCROW HOLDER under the terms of this agreement without written approval of the CITY.

11. That if DEVELOPER is unable to meet its obligation hereunder or to provide additional sums to complete the Subdivision improvements as may be determined by the CITY or if the DEVELOPER or ESCROW HOLDER shall go into receivership or file for bankruptcy protection, then in any such event the CITY may declare the DEVELOPER or ESCROW HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by ESCROW HOLDER to be paid to the CITY without further legal process, to be used to complete the subdivision improvements as set out under the terms hereof.

12. That the ESCROW HOLDER will immediately inform the City of any changes of address for ESCROW HOLDER or DEVELOPER (known to ESCROW HOLDER) during the period of this Agreement. Failure to do so shall result in a breach of this Agreement and the CITY may declare the DEVELOPER or ESCROW HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by ESCROW HOLDER to be paid to the CITY without further legal process, to be used to complete the subdivision improvements as set out under the terms hereof.

13. That no forbearance on the part of the CITY in enforcing any of its rights under this agreement, nor any extension thereof by CITY, shall constitute a waiver of any terms of this Agreement or a forfeiture of any such rights.

14. That the CITY hereby accepts this agreement as a satisfactory ESCROW AGREEMENT under the provisions and requirements of the governing ordinance for this

subdivision and any amendments or revisions thereto and the Subdivision Regulations of the CITY.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and

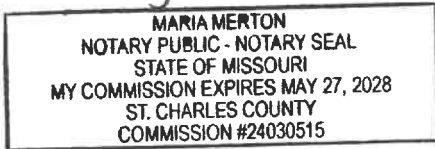
seals the 1st day of July, 2024.

ATTEST: (SEAL)

DEVELOPER: CONWAY K880 LLC

Maria Merton
Type Name:
Title: Notary

BY: [Signature]
Type Name: RENUSSA SIVUNAN
Title: TREASURER



Firm Address:
1212 Fox Point, Dr.
MARYLAND HEIGHTS, Mo. 63043

ATTEST: (SEAL)

ESCROW HOLDER: _____

Type Name:
Title:

BY: _____
Type Name:
Title:

Firm Address:

CITY OF CHESTERFIELD, MISSOURI

BY _____
Director of Planning

ATTEST: (SEAL)

APPROVED:

City Clerk

Mayor

NB: The signatures of the DEVELOPER and CREDIT HOLDER are to be acknowledged before a Notary Public. In the case of a partnership, all partners must sign. In the case of a corporation, the affidavits of the corporation act must be attached.

BANK OFFICIAL'S ACKNOWLEDGMENT

STATE OF MISSOURI)
) SS
 COUNTY OF ST. LOUIS)

On this _____ day of _____, 20____, before me appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is the _____ (title) of _____ (name of bank), a _____ (corporation, etc.) organized and existing under the laws of the United States of America, and that the seal affixed to the foregoing instrument is the Corporate Seal of said bank, and that said instrument was signed and sealed on behalf of said bank by authority of its Board of Directors, and said _____ (title) acknowledged said instrument to be the free act and deed of said bank.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in County and State aforesaid, the day and year first above written.

 Notary Public

My Commission Expires:

CORPORATE EXECUTING OFFICIAL'S ACKNOWLEDGEMENT

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this _____ day of _____, 20____, before me appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is the _____(title) of _____ (name of corporation), a Missouri Corporation, and that he/she executed the foregoing agreement pursuant to the authority given him/her by the Board of Directors of the aforesaid corporation, and that said agreement was signed and sealed by him/her on behalf of the aforesaid corporation by authority of its Board of Directors, and he/she as _____ (title of Corporate Executing Official) of the said corporation, acknowledged said agreement to be the lawful, free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, this _____ day of _____, 20_____.

Notary Public

My Commission Expires:

LLC EXECUTING OFFICIAL'S ACKNOWLEDGEMENT

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this 8th day of July, 2024, before me appeared
RENUBABU SANKIVASEN (name) to me personally known, who, being by
me duly sworn, did say that he/~~she~~ is the TABASWARA (title or
Executing Official) of CONWAY HBBU LLC, a
Missouri Limited Liability Corporation, and that he/~~she~~ in fact has the authority to execute the
foregoing agreement pursuant to the authority given him/her by the Limited Liability
Corporation, and that said agreement was signed and sealed by him/~~her~~ on behalf of the aforesaid
L.L.C. by authority of its MANAGAR, (President or title of
chief officer), PRASANNA YOGANANDAM (name) as
TREASURER (title of Executing Official) of said L.L.C. acknowledges
said agreement to be the lawful, free act and deed of said L.L.C.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal,
this 8th day of JULY, 2024.

Maria Merton
Notary Public

My Commission Expires:



EXHIBIT A

Attach: Subdivision Deposit Spreadsheet

CONSTRUCTION DEPOSIT

SUBDIVISION: ESTATES AT CONWAY
 PLAT: 1
 SUBDIVISION CODE: 341
 NO. LOTS: 6
 DATE OF PLAT APPROVAL: TBD

DEVELOPER: Aztek Construction LLC

CATEGORY	DATE OF RELEASE	% RELEASE	ORIGINAL BALANCE	TOTAL RELEASED	TOTAL % RELEASED	CURRENT BALANCE	% REMAINING
STREETS	04/08/24	95	\$71,082.89	\$67,528.75 \$0.00	95	\$3,554.14	5
SIDEWALKS	06/11/24	95	\$13,299.88	\$12,634.89 \$0.00	95	\$664.99	5
STREET SIGNS		0	\$1,113.75	\$0.00 \$0.00	0	\$1,113.75	100
STREET TREES	06/11/24	95	\$1,630.20	\$1,548.69 \$0.00	95	\$81.51	5
SANITARY SEWER AND PUMP STATIONS	03/27/24	100	\$52,939.26	\$52,939.26 \$0.00	100	\$0.00	0
STORM SEWER	03/27/24	100	\$61,099.83	\$61,099.83 \$0.00	100	\$0.00	0
GRADING	04/18/24	50	\$84,494.21	\$42,247.11 \$0.00	50	\$42,247.11	50
DETENTION	03/27/24	100	\$12,564.09	\$12,564.09 \$0.00	100	\$0.00	0
WATER QUALITY	03/27/24	100	\$7,813.92	\$7,813.92 \$0.00	100	\$0.00	0
EROSION CONTROL	04/24/24	95	\$16,566.00	\$15,737.70 \$0.00	95	\$828.30	5
SILTATION CONTROL	04/24/24	95	\$9,132.20	\$8,675.59 \$0.00	95	\$456.61	5
COMMON GROUND SEED AND ISLAND SODDING		0	\$1,047.20	\$0.00 \$0.00	0	\$1,047.20	100
MONUMENTATION	03/15/24	95	\$12,632.40	\$12,000.78 \$0.00	95	\$631.62	5
RETAINING WALLS	03/13/24	95	\$263,330.66	\$250,164.13 \$0.00	95	\$13,166.53	5
STREET LIGHTS	04/24/24	50	\$3,486.12	\$1,743.06 \$0.00	50	\$1,743.06	50
WATER MAINS	03/15/24	95	\$91,200.00	\$86,640.00 \$0.00	95	\$4,560.00	5
FENCE		0	\$14,274.26	\$0.00 \$0.00	0	\$14,274.26	100
TOTALS			\$717,706.87	\$633,337.78	88	\$84,369.09	12

SUBDIVISION IMPROVEMENT MAINTENANCE DEPOSIT AGREEMENT

THIS MAINTENANCE DEPOSIT AGREEMENT made and entered into by
CONWAY KOP, LLC, herein called DEVELOPER,
~~_____~~, herein called CREDIT
~~HOLDER (strike through this party if cash deposited with City)~~, and the City of Chesterfield,
Missouri, herein called CITY.

WITNESSETH:

WHEREAS, the DEVELOPER has submitted plans, information and data to the CITY
for the creation and development of a subdivision to be known as
ESTATES AT CONWAY in accordance with
Ordinance No. 2056, the governing ordinance for the subdivision, and the Subdivision
Regulations of the City of Chesterfield, and has requested approval of same; and

WHEREAS, the subdivision plans have been approved and the CITY has reasonably
estimated and determined that the cost of maintenance of the required improvements, based on
the cost of construction of said improvements, all in accordance with the provisions of said
subdivision governing ordinance and Subdivision Regulations, as amended, will be in the sum
of FIFTY EIGHT THOUSAND THREE HUNDRED TWENTY EIGHT AND ⁹⁸/₁₀₀ DOLLARS
(\$ 58,328⁹⁸), lawful money of the United States of America; and

WHEREAS, the DEVELOPER is seeking approval from the CITY of the record plat of
the aforesaid subdivision as the same is provided in said governing ordinance and Subdivision
Regulations; and

WHEREAS, the Subdivision Regulations provide inter alias that the commencement of said subdivision may be approved by the CITY upon the DEVELOPER submitting satisfactory construction and maintenance deposit agreements guaranteeing the construction and maintenance of the subdivision improvements in accordance with the approved plans, said governing ordinance and Subdivision Regulations.

NOW, THEREFORE, in consideration of the covenants, promises and agreement herein provided;

IT IS HEREBY MUTUALLY AGREED:

1. That the DEVELOPER has established a MAINTENANCE DEPOSIT in the amount of FIFTY EIGHT THOUSAND THREE HUNDRED TWENTY SIX AND 98/100 DOLLARS (\$ 58,328⁹⁸), lawful money of the United States of America by:
(check one)

- Depositing cash with the City.
- Submitting a Letter of Credit in the form required by the CITY and issued by the CREDIT HOLDER.
- Submitting a _____ (type of readily negotiable instrument acceptable to the CITY) endorsed to the City.

Said deposit guarantees the DEVELOPER will perform his maintenance obligations regarding subdivision improvements, including, but not limited to; lots, streets, sidewalks, trees, common ground areas, erosion and siltation control, and storm drainage facilities, in ESTADOS AT COMUNITY Subdivision, all in accordance with the approved plans, the governing ordinance for the subdivision and the Subdivision Regulations of

the City of Chesterfield, which by reference are made a part hereof, and in accordance with all ordinances of the CITY regulating same.

2. That the MAINTENANCE DEPOSIT will be held in escrow by the CITY or the CREDIT HOLDER, as applicable, until such time as releases are authorized by the Department of Planning.

3. That the DEVELOPER shall be responsible for, and hereby guarantees, the maintenance of the subdivision improvements, including, but not limited to, lots, streets, sidewalks, trees, common ground areas, erosion and siltation control, and storm and drainage facilities, until (1) expiration of twelve (12) months after occupancy permits have been issued on eighty percent (80%) of all of the lots in the subdivision plat(s), or (2) twelve (12) months after completion of the subdivision and acceptance / approval of all required improvements by the CITY, whichever is longer. In the case of landscaping, the maintenance period shall be twenty-four (24) months after installation is approved by the CITY. Maintenance shall include repair or replacement of all defects, deficiencies and damage to the improvements that may exist or arise, abatement of nuisances caused by such improvements, removal of mud and debris from construction, erosion control, grass cutting, removal of construction materials (except materials to be used for construction on the lot or as permitted by site plan), and snow removal. All repairs and replacement shall comply with CITY specifications and standards. Any maintenance of improvements accepted by the CITY for public dedication shall be completed under the supervision of and with the prior written approval of the Director of Planning. The maintenance obligation for required improvements to existing public roads or other existing public infrastructure already maintained by a public governmental entity shall terminate on and after the date such improvements have been inspected and accepted by the

appropriate governmental entity and the deposit for same shall be released. Irrespective of other continuing obligations, the developer's snow removal obligations shall terminate on the date a street is accepted by the CITY for public maintenance.

4. That the maintenance deposit shall be retained by the CITY OR CREDIT HOLDER to guarantee maintenance of the required improvements and, in addition to being subject to the remedies of Section 02-12.G of the Unified Development Code and other remedies of the City Code, shall be subject to the immediate order of the Director of Planning to defray or reimburse any cost to the CITY of maintenance or repair of improvements related to the subdivision which the developer fails or refuses to perform. Except in emergency circumstances or where action is otherwise required before written notice can be provided, the Director of Planning shall provide the developer with a written demand and opportunity to perform the maintenance before having such maintenance performed by the CITY, or its agents. The Director of Planning shall have the authority to require the maintenance deposit to be replaced or replenished by the developer, in any form permitted for an original deposit, where the amount remaining is determined to be insufficient or where the maintenance deposit was drawn upon by the CITY for maintenance.

5. That in determining the amount of MAINTENANCE DEPOSIT that shall continue to be held, portions of the deposit amount that were attributable to improvements that have been accepted by any third-party governmental entity or utility legally responsible for the maintenance of the improvement may be released upon such acceptance of the improvement by the entity. The Director of Planning may approve such further releases if it is determined in his or her discretion, after inspection of the improvements, that the total maintenance amount

retained is clearly in excess of the amount necessary for completion of the maintenance obligation, after all reasonable contingencies are considered.

6. That in the event the CITY should determine that the MAINTENANCE DEPOSIT, or any line item thereon as herein provided, is insufficient, the CITY will so notify the DEVELOPER who shall, within thirty (30) days of said notice, deposit additional sums with the CITY or have the amount of the letter of credit or other banking instrument increased as will be required to maintain the said specific component of the improvement and said additional sum will be subject to the terms of this MAINTENANCE DEPOSIT AGREEMENT. Failure to provide said sum shall be cause for immediate cessation of all work on said subdivision until the additional amount is paid.

7. That the CREDIT HOLDER, in accordance with paragraphs 2, 4 and 5 above, shall only release or disburse the MAINTENANCE DEPOSIT, or portion thereof, upon receipt and in the amount set forth in a written authorization from the said Department of Planning addressed to the Credit Holder, which authorization may be for payment, as provided in the Subdivision Regulations or governing ordinance for this subdivision.

8. That upon expiration of the maintenance obligations established herein, the Director of Planning shall cause a final inspection to be made of the required improvements. Funds shall then be released if there are no defects or deficiencies found and all other obligations including payment of all sums due, are shown to be satisfied on inspection thereof, or at such time thereafter as any defects or deficiencies are cured with the permission of, and within the time allowed by, the Director of Planning. This release shall in no way be construed to indemnify or release any person from any civil liability that may exist for defects or damages

caused by any construction, improvement or development for which any deposit has been released.

9. That there shall be no assignment by DEVELOPER or CREDIT HOLDER under the terms of this agreement without written approval of the CITY.

10. That if DEVELOPER is unable to meet its obligation hereunder or to provide additional sums to guarantee maintenance of the Subdivision improvements as may be determined by the CITY or if the DEVELOPER shall abandon the subdivision or go into receivership or file for bankruptcy protection, then in any such event the CITY may declare the DEVELOPER in default and may immediately order the payment of all remaining sums held in the MAINTENANCE DEPOSIT to be paid to the CITY without further legal process, to be used to complete and maintain the subdivision improvements as set out under the terms hereof.

11. That the CREDIT HOLDER will immediately inform the City of any changes of address for CREDIT HOLDER or DEVELOPER (known to CREDIT HOLDER) during the period of this Agreement. Failure to do so shall result in a breach of this Agreement and the CITY may declare the DEVELOPER or CREDIT HOLDER (as the case may be) in default and may immediately order the payment of all remaining sums held by CREDIT HOLDER to be paid to the CITY without further legal process, to be used to maintain the subdivision improvements as set out under the terms hereof.

12. That no forbearance on the part of the CITY in enforcing any of its rights under this agreement, nor any extension thereof by CITY, shall constitute a waiver of any terms of this Agreement or a forfeiture of any such rights.

13. That the CITY hereby accepts this agreement as a satisfactory MAINTENANCE DEPOSIT AGREEMENT under the provisions and requirements of the governing ordinance

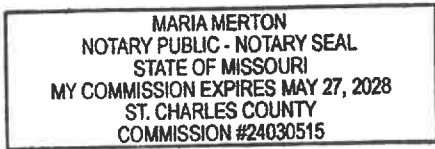
for this subdivision and any amendments or revisions thereto and the Subdivision Regulations of the CITY.

IN WITNESS WHEREOF, the parties hereto have hereunto set their hands and

seals the 8 day of JULY, 2024 A.D.

ATTEST: (SEAL) DEVELOPER: CONWAY 14880 LLC

Maria Merton
Type Name:
Title: Notary



Maria Merton

BY: [Signature]
Type Name: RENUKABU SRINIVASAN
Title:

Firm Address:
12120 FOX POINT DR.
MARYLAND HEIGHTS, MO 63043

ATTEST: (SEAL) CREDIT HOLDER: _____

Name: _____
Title: _____

BY: _____
Name: _____
Title: _____

Firm Address:

CITY OF CHESTERFIELD, MISSOURI

BY _____
Director of Planning

ATTEST: (SEAL) APPROVED: _____

City Clerk

Mayor

NB: The signatures of the DEVELOPER and CREDIT HOLDER are to be acknowledged before a Notary Public. In the case of a partnership, all partners must sign. In the case of a corporation, the affidavits of the corporation act must be attached.

BANK OFFICIAL'S ACKNOWLEDGMENT

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this _____ day of _____, 20____, before me appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is the _____ (title) of _____ (name of bank), a _____ (corporation, etc.) organized and existing under the laws of the United States of America, and that the seal affixed to the foregoing instrument is the Corporate Seal of said bank, and that said instrument was signed and sealed on behalf of said bank by authority of its Board of Directors, and said _____ (title) acknowledged said instrument to be the free act and deed of said bank.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal in County and State aforesaid, the day and year first above written.

Notary Public

My Commission Expires:

CORPORATE EXECUTING OFFICIAL'S ACKNOWLEDGEMENT

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this _____ day of _____, 20____, before me appeared _____, to me personally known, who, being by me duly sworn, did say that he/she is the _____ (title) of _____ (name of corporation), a Missouri Corporation, and that he/she executed the foregoing agreement pursuant to the authority given him/her by the Board of Directors of the aforesaid corporation, and that said agreement was signed and sealed by him/her on behalf of the aforesaid corporation by authority of its Board of Directors, and he/she as _____ (title of Corporate Executing Official) of the said corporation, acknowledged said agreement to be the lawful, free act and deed of said corporation.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, this _____ day of _____, 20____.

Notary Public

My Commission Expires:

LLC EXECUTING OFFICIAL'S ACKNOWLEDGEMENT

STATE OF MISSOURI)
) SS
COUNTY OF ST. LOUIS)

On this 8TH day of JULY, 2024, before me appeared RENUKABU SRINIVASAN (name) to me personally known, who, being by me duly sworn, did say that he/she is the TREASURER (title or Executing Official) of CONWAY 1480 LLC, a Missouri Limited Liability Corporation, and that he/~~she~~ in fact has the authority to execute the foregoing agreement pursuant to the authority given him/~~her~~ by the Limited Liability Corporation, and that said agreement was signed and sealed by him/~~her~~ on behalf of the aforesaid L.L.C. by authority of its MANAGER, (President or title of chief officer), CONWAY 1480 LLC (name) as TREASURER (title of Executing Official) of said L.L.C. acknowledges said agreement to be the lawful, free act and deed of said L.L.C.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my notarial seal, this 8th day of JULY, 2024.

Maria Merton
Notary Public

My Commission Expires:

MARIA MERTON
NOTARY PUBLIC - NOTARY SEAL
STATE OF MISSOURI
MY COMMISSION EXPIRES MAY 27, 2028
ST. CHARLES COUNTY
COMMISSION #24030515

MAINTENANCE DEPOSIT

**SUBDIVISION: ESTATES AT CONWAY
PLAT: 1
SUB CODE: 341
DEVELOPER: Azack Construction LLC**

NOTE: Deposit is adjusted to account for 10% of entire sewer costs, and 0% of LOMR/Elev. Cert's, if any)

CATEGORY	ORIGINAL BALANCE	DATE OF RELEASE	AMOUNT RELEASED	CURRENT BALANCE
STREETS	\$7,108.29			\$7,108.29
SIDEWALKS	\$1,329.99			\$1,329.99
STREET SIGNS	\$111.38			\$111.38
STREET TREES	\$163.02			\$163.02
SAN. SEWER	\$5,293.93	4/4/2024	\$5,293.93	\$0.00
STORM SEWER	\$6,109.98	4/4/2024	\$6,109.98	\$0.00
GRADING	\$8,449.42			\$8,449.42
DETENTION	\$1,256.41	4/4/2024	\$1,256.41	\$0.00
WATER QUALITY	\$781.39	4/4/2024	\$781.39	\$0.00
EROSION CONTROL	\$1,656.60			\$1,656.60
SILTATION CONTROL	\$913.22			\$913.22
COMMON GR. SEED	\$104.72			\$104.72
MONUMENTATION	\$1,263.24			\$1,263.24
RETAINING WALL	\$26,333.07			\$26,333.07
STREET LIGHTS	\$348.61			\$348.61
WATER MAINS	\$9,120.00			\$9,120.00
FENCE	\$1,427.43			\$1,427.43
TOTALS	\$71,770.69		\$13,441.71	\$58,328.98

OWNER'S CERTIFICATE

THE UNDERSIGNED OWNERS OF THE TRACT OF LAND HEREIN PLATTED AND FURTHER DESCRIBED IN THE FOREGOING SURVEYOR'S CERTIFICATE, HAVE CAUSED THE SAME TO BE SURVEYED AND SUB-DIVIDED IN THE MANNER SHOWN ON THIS PLAT...

ALL EASEMENTS SHOWN ON THIS PLAT, UNLESS OTHERWISE DESIGNATED FOR OTHER SPECIFIC PURPOSES, ARE HEREBY DEDICATED TO THE CITY OF CHESTERFIELD, MISSOURI, AMERICAN WATER COMPANY, SPIRE, AMEREN MISSOURI, AT&T MISSOURI, METROPOLITAN ST. LOUIS SEWER DISTRICT, CHARTER COMMUNICATIONS, THEIR SUCCESSORS AND ASSIGNS AS THEIR INTERESTS MAY APPEAR FOR THE PURPOSES OF IMPROVING, CONSTRUCTING, MAINTAINING AND REPAIRING PUBLIC UTILITIES, SEWERS, STORMWATER IMPROVEMENTS AND DRAINAGE FACILITIES...

THE AREA OF LAND DESIGNATED AS COMMON GROUND IS NOT DEDICATED HEREBY FOR USE BY THE GENERAL PUBLIC BUT IS HEREBY ESTABLISHED AND GRANTED TO THE ESTATES AT CONWAY HOMEOWNERS ASSOCIATION FOR THE USE AND ENJOYMENT OF SAID ASSOCIATION...

THE STORM WATER CONTROL EASEMENT IS HEREBY DEDICATED TO METROPOLITAN ST. LOUIS SEWER DISTRICT FOR THE PURPOSES OF IMPROVING, CONSTRUCTING, MAINTAINING AND REPAIRING SEWERS, STORMWATER IMPROVEMENTS AND DRAINAGE FACILITIES WITH THE RIGHT OF TEMPORARY USE OF ADJACENT GROUND NOT OCCUPIED BY IMPROVEMENTS FOR THE EXCAVATION AND STORAGE OF MATERIALS DURING INSTALLATION, REPAIR OR REPLACEMENT OF SAID SEWERS, STORMWATER IMPROVEMENTS AND DRAINAGE FACILITIES.

THE UNDERSIGNED DECLARES THAT THIS SUBDIVISION SHALL BE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS OF ESTATES AT CONWAY AS SET FORTH IN AN INSTRUMENT FILED AS DOCUMENT NO. 22350/4131 IN THE ST. LOUIS COUNTY RECORDER OF DEEDS OFFICE.

PERMANENT ROADWAY IMPROVEMENT, MAINTENANCE, UTILITY, SEWER AND SIDEWALK EASEMENTS (PRIMUS & SE) IS HEREBY DEDICATED TO ST. LOUIS COUNTY, MISSOURI, THE CITY OF CHESTERFIELD, MISSOURI, & METROPOLITAN ST. LOUIS SEWER DISTRICT FOR PUBLIC USE FOREVER.

THE 5' W. SIDEWALK, MAINTENANCE, UTILITY & ROADWAY WIDENING EASEMENT IS HEREBY DEDICATED TO THE CITY OF CHESTERFIELD, MISSOURI, & METROPOLITAN ST. LOUIS SEWER DISTRICT FOR PUBLIC USE FOREVER.

LANDSCAPE BUFFER ARE ESTABLISHED AS A PROTECTED AREA FOR VEGETATIVE LANDSCAPING AND EXISTING VEGETATION RESPECTIVELY. STRUCTURES OF ANY SIZE, WHETHER TEMPORARY OR PERMANENT WITH THE EXCEPTION OF THE RETAINING WALLS AS SHOWN ON THE PLANS, ARE NOT PERMITTED WITHIN THESE EASEMENTS...

THE LANDSCAPE BUFFERS ALONG THE OUTER PERIMETER OF THE SITE SHALL BE THE RESPONSIBILITY OF THE TRUSTEES OF THE AFORESAID SUBDIVISION, ITS SUCCESSORS AND ASSIGNS.

BUILDING LINES SHOWN ON THIS PLAT ARE HEREBY ESTABLISHED.

IT IS HEREBY CERTIFIED THAT ALL EXISTING EASEMENTS ARE SHOWN ON THIS PLAT AS OF THE TIME AND DATE OF RECORDING THIS PLAT.

NO TREE, SHRUB OR PLANTING SHALL BE PLACED WITHIN THE TRIANGULAR 30'x30' SITE DISTANCE EASEMENT OR THE AREA OF ADJACENT RIGHT OF WAY BOUNDED BY THE STREET PAVEMENT AND THE EXTENSION OF THE SITE DISTANCE TRIANGLE.

STORMWATER MANAGEMENT RESERVE AREAS AS SHOWN ON THIS PLAT ARE HEREBY ESTABLISHED FOR REQUIRED STORMWATER MANAGEMENT FEATURES. TO KNOW AS BMP(S) (BEST MANAGEMENT PRACTICES) THE RESERVED AREAS HEREBY ESTABLISHED ARE IRREVOCABLE AND SHALL CONTINUE FOREVER, SUBJECT TO A "MAINTENANCE AGREEMENT" EXECUTED ON THE 21ST DAY OF SEPTEMBER 2022, AS RECORDED IN THE ST. LOUIS COUNTY RECORDER AS DOCUMENT NO. 2022092300243 OR AS AMENDED THEREAFTER.

ALL TAXES WHICH ARE DUE AND PAYABLE AGAINST THIS PROPERTY HAVE BEEN PAID IN FULL. IN WITNESS WHEREOF, THE UNDERSIGNED HAVE SET THEIR HANDS THIS 20th DAY OF 2024.

CONWAY 14880 LLC BY: [Signature] PRINT NAME: [Name] TITLE: [Title]

OWNER'S NOTARY

STATE OF MISSOURI) COUNTY OF ST. LOUIS) ON THIS 20th DAY OF 2024 BEFORE ME APPEARED TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS OF CONWAY 14880 LLC, THAT SAID INSTRUMENT WAS SIGNED AND SEALED IN BEHALF OF SAID LIMITED LIABILITY COMPANY BY AUTHORITY OF ITS MEMBERS, ACKNOWLEDGED SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID LIMITED LIABILITY COMPANY...

Table with 3 columns: LINE #, DIRECTION, LENGTH. Contains 9 line items for the plat boundaries.

LENDER'S CERTIFICATE

THE UNDERSIGNED HOLDER OR LEGAL OWNER OF NOTES SECURED BY A DEED OF TRUST RECORDED IN BOOK PAGE OF THE ST. LOUIS COUNTY RECORDS HEREBY JOINS IN AND APPROVES IN EVERY DETAIL, THIS PLAT OF "ESTATES AT CONWAY", IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND AFFIXED OUR CORPORATE SEAL THIS 20th DAY OF 2024.

NOTARY PUBLIC: [Signature] PRINT NAME: [Name] MY TERM EXPIRES: [Date]

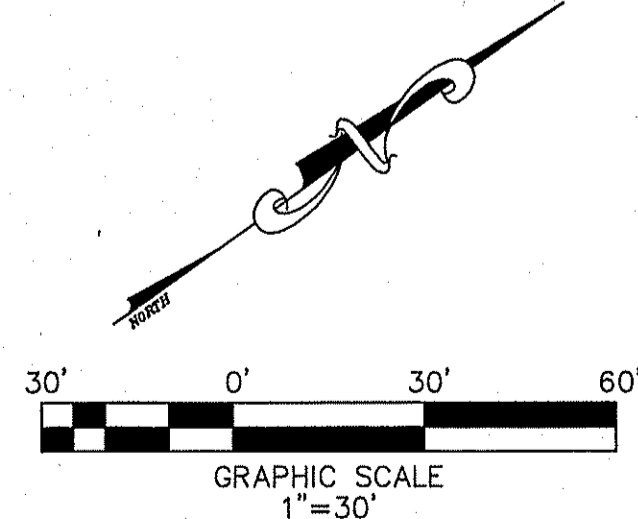
LENDER'S NOTARY

STATE OF MISSOURI) COUNTY OF ST. LOUIS) ON THIS 20th DAY OF 2024 BEFORE ME APPEARED TO ME PERSONALLY KNOWN, WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS OF CONWAY 14880 LLC, THAT THE SEAL AFFIXED TO THE FOREGOING INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION AND THAT SAID INSTRUMENT WAS SIGNED AND SEALED IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BOARD OF DIRECTORS, AND SAID INSTRUMENT TO BE THE FREE ACT AND DEED OF SAID CORPORATION...

NOTARY PUBLIC: [Signature] PRINT NAME: [Name] MY TERM EXPIRES: [Date]

BENCHMARK INFORMATION

MSD BENCHMARK: 12-354, ELEV = 595.32 (MODOT VRS, N.A.V.D.-88) "CUT DIAMOND" ON THE NORTHWEST CORNER OF A ROUGHLY 8'X17' CONCRETE WATER VAULT IN A LAWN SOUTH OF CONWAY ROAD AND NORTH OF THE PARKING LOT FOR BONHOMME PRESBYTERIAN CHURCH...



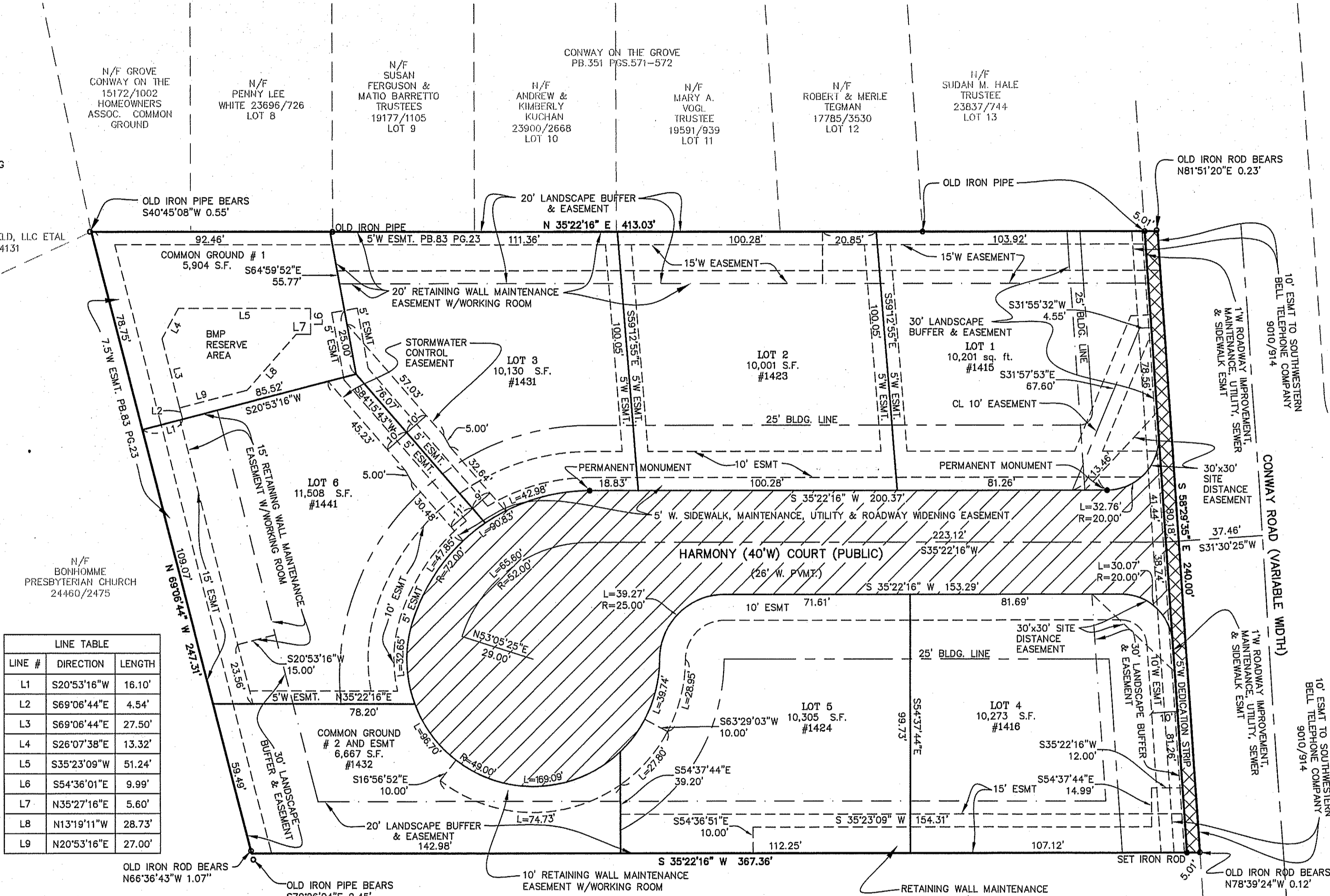
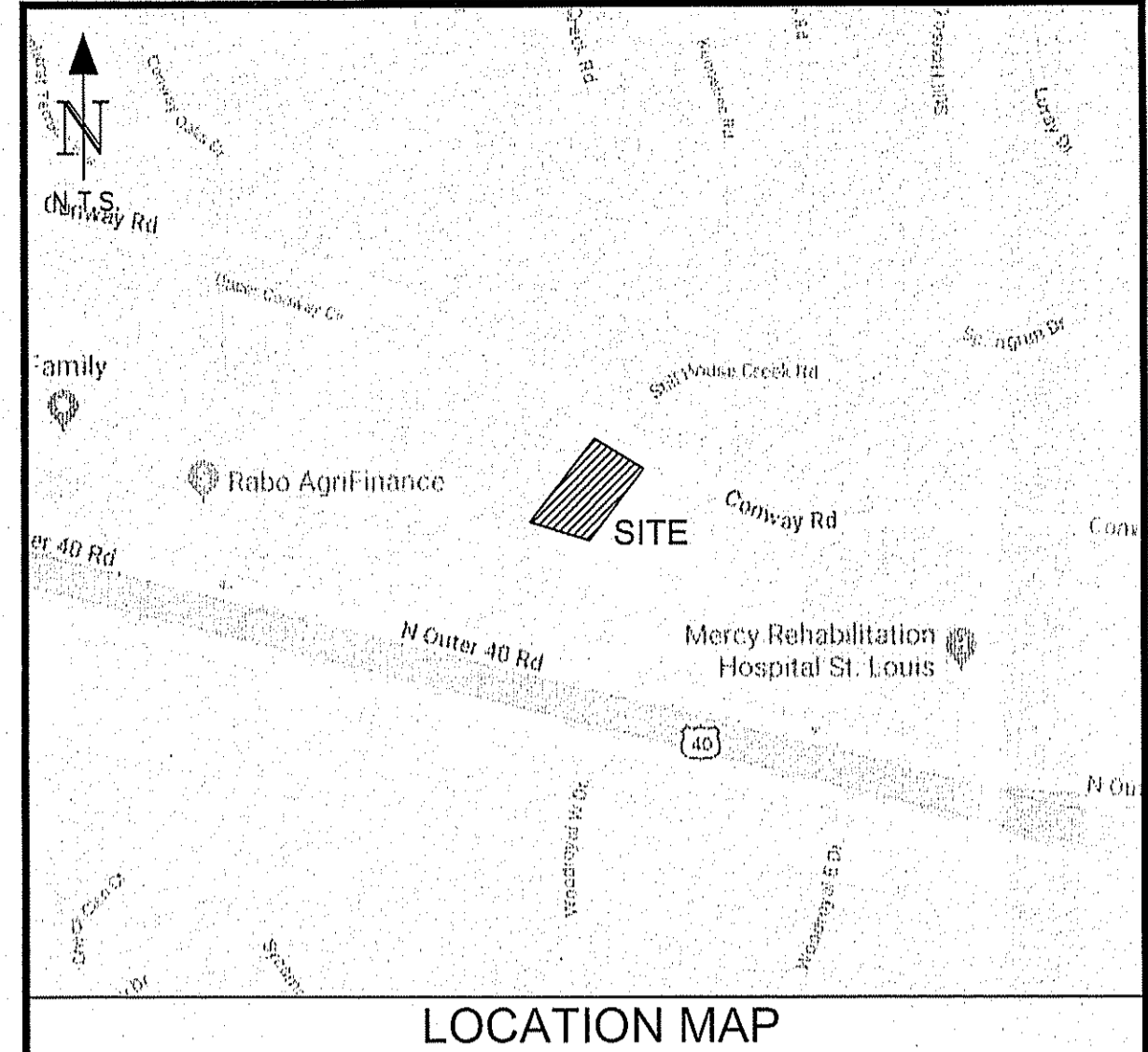
THIS IS TO CERTIFY THAT THE RECORD PLAT OF ESTATES AT CONWAY WAS APPROVED BY THE CITY OF CHESTERFIELD BY ORDINANCE NO. 2024-001 ON THE 20th DAY OF 2024 AND THEREBY AUTHORIZES THE RECORDING OF THIS RECORD PLAT WITH THE OFFICE OF THE ST. LOUIS COUNTY RECORDER OF DEEDS.

BOB NATION, MAYOR VICKY MCGOWN, CITY CLERK

ESTATES AT CONWAY

RECORD PLAT

A TRACT OF LAND BEING PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST LOUIS COUNTY, MISSOURI



GENERAL NOTES:

- 1. PREPARED FOR: CONWAY 14880 LLC 12120 FOXPOINT DRIVE MARYLAND HEIGHTS, MO 63043
2. BASIS OF BEARINGS: MISSOURI STATE PLANE - EAST ZONE - GRID NORTH
3. THE TOTAL AREA OF THIS PLAT: 2.14 ACRES, MORE OR LESS.
4. SETBACKS PER R3 ZONING: FRONT - 25', SIDE - 8', REAR - 15'
5. ST. CHARLES ENGINEERING & SURVEYING, INC. WAS NOT SUPPLIED A TITLE COMMITMENT AND TAKES NO RESPONSIBILITY FOR ANY EASEMENTS THAT A CURRENT TITLE POLICY MIGHT PROVIDE.
6. PROPERTY OWNERS: CONWAY 14880 LLC 12120 FOXPOINT DRIVE MARYLAND HEIGHTS, MO 63043
7. ACCORDING TO FIRM FLOOD INSURANCE RATE MAP PANEL 29189C0170 K, DATED FEBRUARY 4, 2015, THIS PROPERTY LIES IN ZONE "A" AREAS OUTSIDE OF THE 500 YEAR FLOODPLAIN WHERE BASE FLOOD DETERMINATIONS HAVE BEEN MADE.
8. ALL MONUMENTS WILL BE SET WITHIN 12 MONTHS OF THE RECORDING OF THIS PLAT.

LAND DESCRIPTION SURVEYED PARCEL

A TRACT OF LAND BEING PART OF U.S. SURVEYS 366 AND 370, TOWNSHIP 45 NORTH, RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF LOT 5 OF "HIGHLAND ON CONWAY PLAT NO. 1", A SUBDIVISION RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY RECORDS, SAID POINT BEING IN THE SOUTHERN RIGHT OF WAY LINE OF CONWAY ROAD (WHICH VARIES); THENCE ALONG SAID SOUTHERN RIGHT OF WAY LINE SOUTH 58 DEGREES 29 MINUTES 35 SECONDS EAST, A DISTANCE OF 240.00 FEET TO THE NORTHWEST CORNER OF PROPERTY CONVEYED TO JAMES J. AND BARBARA S. WALSH, TRUSTEES IN THE WALSH LIVING TRUST IN BOOK 18414 PAGE 3162 OF SAID COUNTY RECORDS; THENCE ALONG THE WESTERN LINE OF SAID WALSH TRUST PROPERTY SOUTH 35 DEGREES 22 MINUTES 16 SECONDS WEST, A DISTANCE OF 307.26 FEET TO A POINT IN THE NORTHERN LINE OF LOT 5 OF SAID HIGHLAND ON CONWAY PLAT NO. 1; THENCE ALONG SAID NORTHERN LINE OF SAID LOT 5 NORTH 69 DEGREES 08 MINUTE 44 SECONDS WEST, A DISTANCE OF 247.31 FEET TO THE SOUTHWEST CORNER OF "CONWAY ON THE GROVE", A SUBDIVISION RECORDED IN PLAT BOOK 351 PAGES 571-572 OF SAID COUNTY RECORDS; THENCE ALONG THE EASTERN LINE OF SAID CONWAY ON THE GROVE AND A PROLONGATION THEREOF NORTH 35 DEGREES 22 MINUTES 16 SECONDS EAST, A DISTANCE OF 413.03 FEET TO THE POINT OF BEGINNING CONTAINING 2.14 ACRES, MORE OR LESS.

LEGAL DESCRIPTION

PARCEL NO. 1: THE WESTERN PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT NO. 1, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY RECORDS AND DESCRIBED AS FOLLOWS: BEGINNING AT THE MOST NORTHERN CORNER OF SAID LOT 5, THENCE SOUTH 58 DEGREES 29 MINUTES EAST ALONG THE SOUTHWEST LINE OF CONWAY ROAD 190 FEET TO A POINT; THENCE NORTH 35 DEGREES 17 MINUTES WEST 376.87 FEET TO A POINT IN THE SOUTH LINE OF SAID LOT; THENCE NORTH 69 DEGREES 12 MINUTES WEST ALONG THE SOUTH LINE 195.79 FEET TO THE SOUTHWEST CORNER OF SAID LOT AND THENCE NORTH 35 DEGREES 17 MINUTES EAST ALONG THE WEST LINE 413.03 FEET TO THE POINT OF BEGINNING ACCORDING TO SURVEY MADE BY ELBRING SURVEYING COMPANY DURING NOVEMBER, 1960.
PARCEL NO. 2: PART OF LOT NO. 5 OF HIGHLAND ON CONWAY PLAT NO. 1, A SUBDIVISION IN US SURVEYS 366 AND 370 IN TOWNSHIP 45 NORTH RANGE 4 EAST, ST. LOUIS COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY RECORDS, AND MORE PARTICULARLY DESCRIBED AS: BEGINNING AT A POINT IN THE SOUTH LINE OF CONWAY ROAD, SAID POINT BEING 240 FEET FROM THE NORTHWEST CORNER OF LOT 5, THENCE ALONG THE SOUTH LINE OF CONWAY ROAD NORTH 58 DEGREES 35 MINUTES WEST 50 FEET TO A POINT, THENCE ALONG THE EAST LINE OF PROPERTY OF SIDNEY B. WILSON SOUTH 35 DEGREES 17 MINUTES WEST 376.87 FEET TO THE SOUTH LINE OF SAID LOT 5, THENCE ALONG SAID SOUTH LINE, SOUTH 89 DEGREES 12 MINUTES EAST 50 FEET MORE OR LESS, TO A POINT, AND THENCE NORTH 35 DEGREES 17 MINUTES EAST TO THE POINT OF BEGINNING.

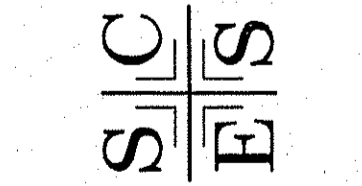
SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT ST. CHARLES ENGINEERING AND SURVEYING, INC., AT THE REQUEST AND FOR THE EXCLUSIVE USE OF CONWAY 14880 LLC DURING THE MONTHS OF JUNE AND JULY, 2019 EXECUTED A BOUNDARY SURVEY OF A TRACT OF LAND BEING PART OF LOT 5 OF HIGHLAND ON CONWAY PLAT 1 AS RECORDED IN PLAT BOOK 83 PAGE 23 OF THE ST. LOUIS COUNTY LAND RECORDS, CITY OF CHESTERFIELD, ST. LOUIS COUNTY, MISSOURI, AND DURING THE MONTH OF JANUARY, 2022 SUBDIVIDED AND PREPARED A RECORD PLAT. THIS SURVEY WAS PREPARED IN ACCORDANCE WITH CHAPTER 16 "MISSOURI STANDARDS FOR URBAN PROPERTY BOUNDARY SURVEYS (20 CSR 2030-16.010-16.110)."

JAMES O. PRICE MO. P.L.S. #2006016640 DATE 3/27/24

RECORD PLAT ESTATES AT CONWAY

ST. CHARLES ENGINEERING & SURVEYING, INC. 801 S. FIFTH STREET, SUITE 202 ST. CHARLES, MO 63301 TEL: (636) 947-0607 FAX: (636) 947-2448



ORDER NO. 180211 DATE 02/04/2022